
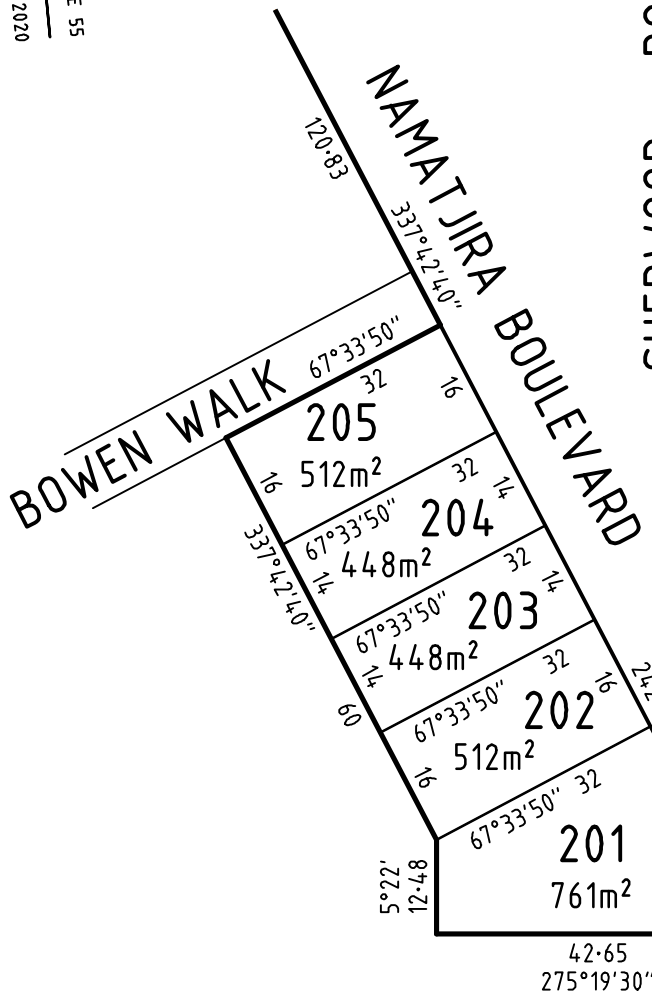
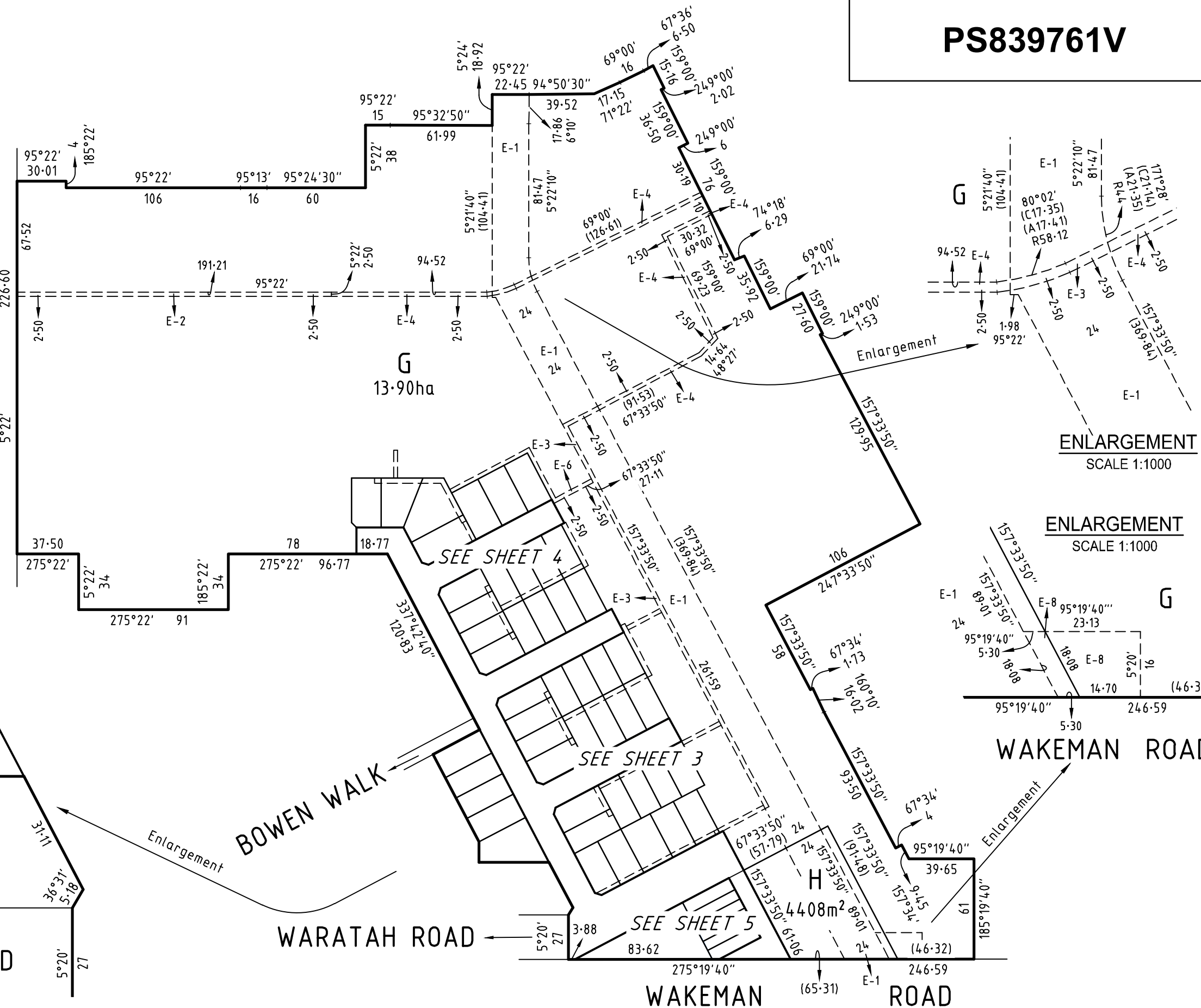


PLAN OF SUBDIVISION		EDITION 1	PS839761V	
LOCATION OF LAND PARISH: BAGSHOT TOWNSHIP: SECTION: 12 CROWN ALLOTMENT: 3 (PART) CROWN PORTION: TITLE REFERENCE: C/T VOL 12295 FOL 942 LAST PLAN REFERENCE: LOT E ON PS834199W POSTAL ADDRESS: WARATAH ROAD (at time of subdivision) BAGSHOT 3551 MGA2020 CO-ORDINATES: E: 264 280 ZONE: 55 (of approx centre of land in plan) N: 5 939 260		Council Name: Greater Bendigo City Council SPEAR Reference Number: S172256J		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL / BODY / PERSON	Lots 1-200 (both inclusive), Lot 211 and Lots A-F (both inclusive) have been omitted from this plan. <u>Further purpose of plan:</u> Removal of part of Easement shown E-1 on PS815341E where now contained in Namatjira Boulevard. Removal of part of Easement shown E-5 on PS834199W where now contained in Namatjira Boulevard. Removal of Easement show E-7 on PS834199W where now contained in Waratah Road and Reserve No 1 on this plan. <u>Grounds for Variation:</u> By consent of the relevant authority under the powers of Section 6(1)(k)(iii) Subdivision Act 1988		
ROAD R-1 RESERVE NO 1	CITY OF GREATER BENDIGO CITY OF GREATER BENDIGO			
NOTATIONS				
DEPTH LIMITATION : DOES NOT APPLY				
SURVEY: This plan is based on survey STAGING: This is not a staged subdivision Planning Permit No. AM/514/2017/A, DSD/568/2020 This survey has been connected to permanent marks No(s). 6, 17 & 19 In Proclaimed Survey Area No.				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
E-1 & E-3	Carriageway	See Diagram	PS730853W	Lots 6 & 7 on PS730853W
E-2	Pipelines or Ancillary Purposes	See Diagram	PS815341E - Sec 136 of the Water Act 1989	Coliban Region Water Corporation
E-3 & E-4	Pipelines or Ancillary Purposes	See Diagram	PS834199W - Sec 136 of the Water Act 1989	Coliban Region Water Corporation
E-5 & E-6	Pipelines or Ancillary Purposes	See Diagram	This Plan - Sec 136 of the Water Act 1989	Coliban Region Water Corporation
E-5 & E-7	Drainage	See Diagram	This Plan	City of Greater Bendigo
E-8	Carriageway	See Diagram	This Plan	City of Greater Bendigo
PROVENANCE ESTATE - STAGE 3 (53 LOTS)			AREA OF STAGE - 3.760ha	
 16 Bridge Street PO Box 1064 Bendigo Vic 3550 T 61 3 5448 2500 spiire.com.au		SURVEYORS FILE REF: 307572SV00		ORIGINAL SHEET SIZE: A3
		Licensed Surveyor: Michael Meehan Version: 3		SHEET 1 OF 6



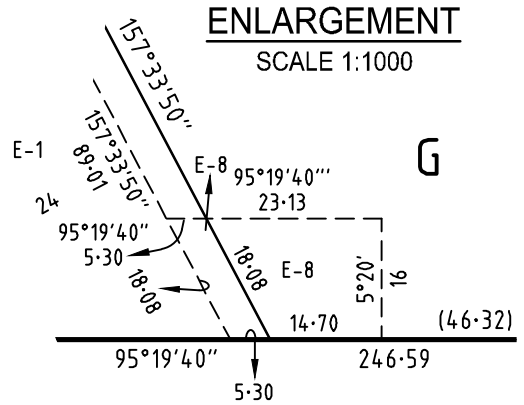
ENLARGEMENT
SCALE 1:1000

SHERWOOD ROAD



ENLARGEMENT
SCALE 1:1000

ENLARGEMENT
SCALE 1:1000



WARATAH ROAD

WARATAH ROAD

WAKEMAN ROAD

SURVEYOR'S FILE REF: 307572SV00

16 Bridge Street
PO Box 1064
Bendigo Vic 3550
T 61 3 5448 2500
spiire.com.au

SCALE 1: 2500

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

SHEET 2

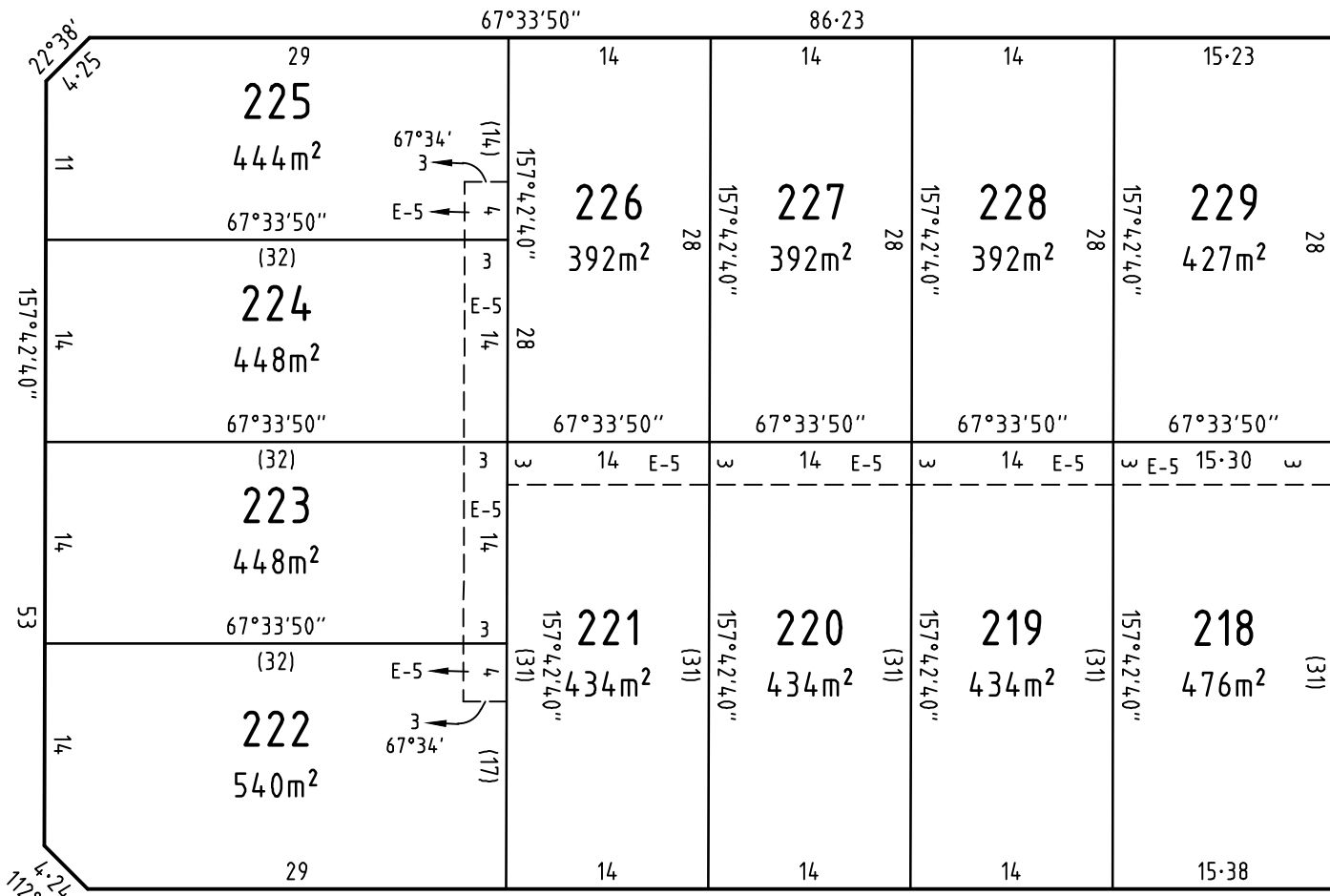
Licensed Surveyor: Michael Meehan
Version: 3

PS839761V

BLACKMAN STREET

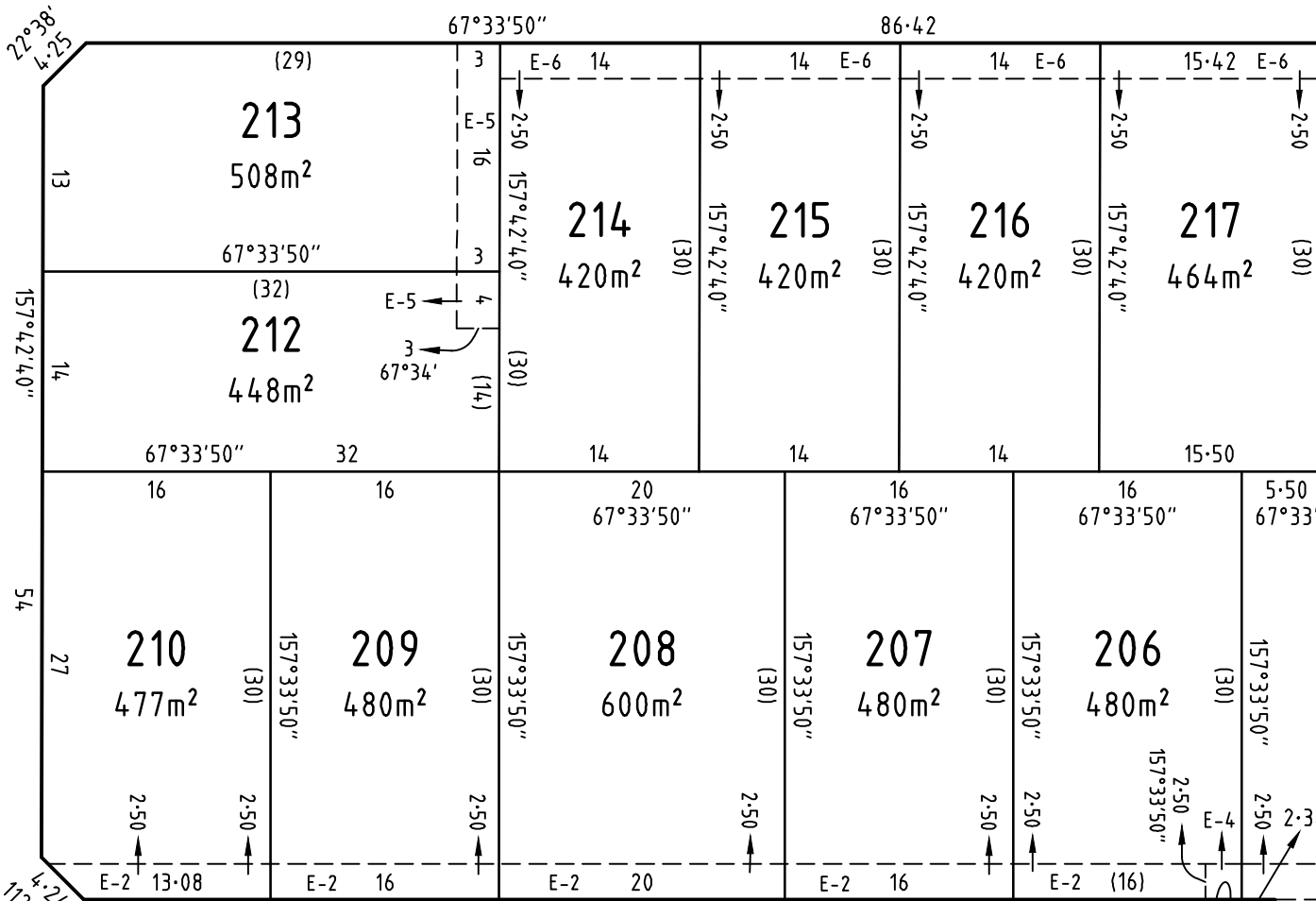
SEE SHEET 4

67°33'50" 86.23



PROCTOR STREET

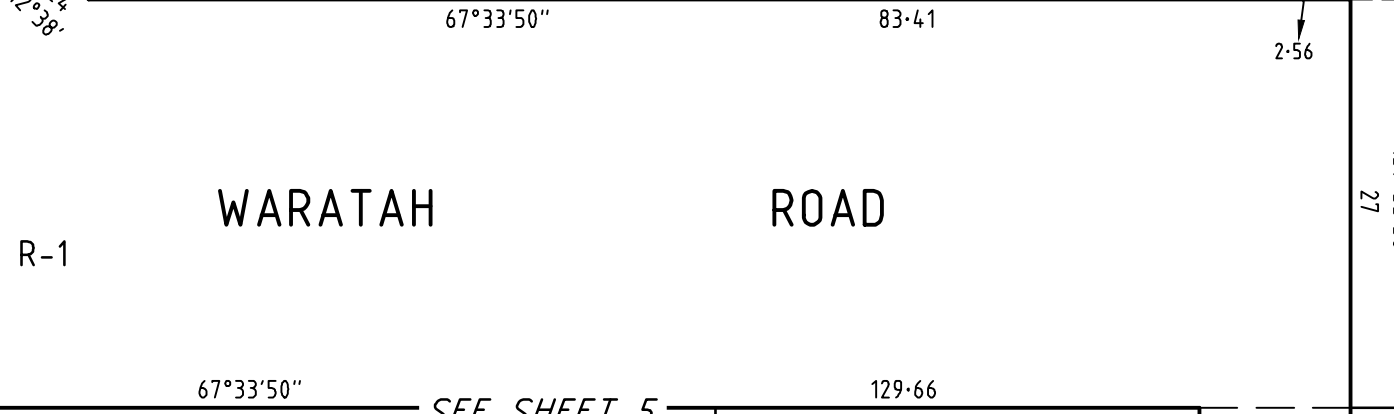
67°33'50" 25.94



WARATAH ROAD

E-8

67°33'50" 129.66



337°42'4.0"

NAMATJIRA

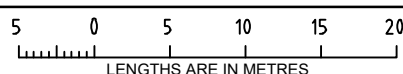
BOULEVARD

SEE SHEET 2

SEE SHEET 2

SURVEYOR'S FILE REF: 307572SV00

SCALE 1: 500



ORIGINAL SHEET SIZE: A3

SHEET 3

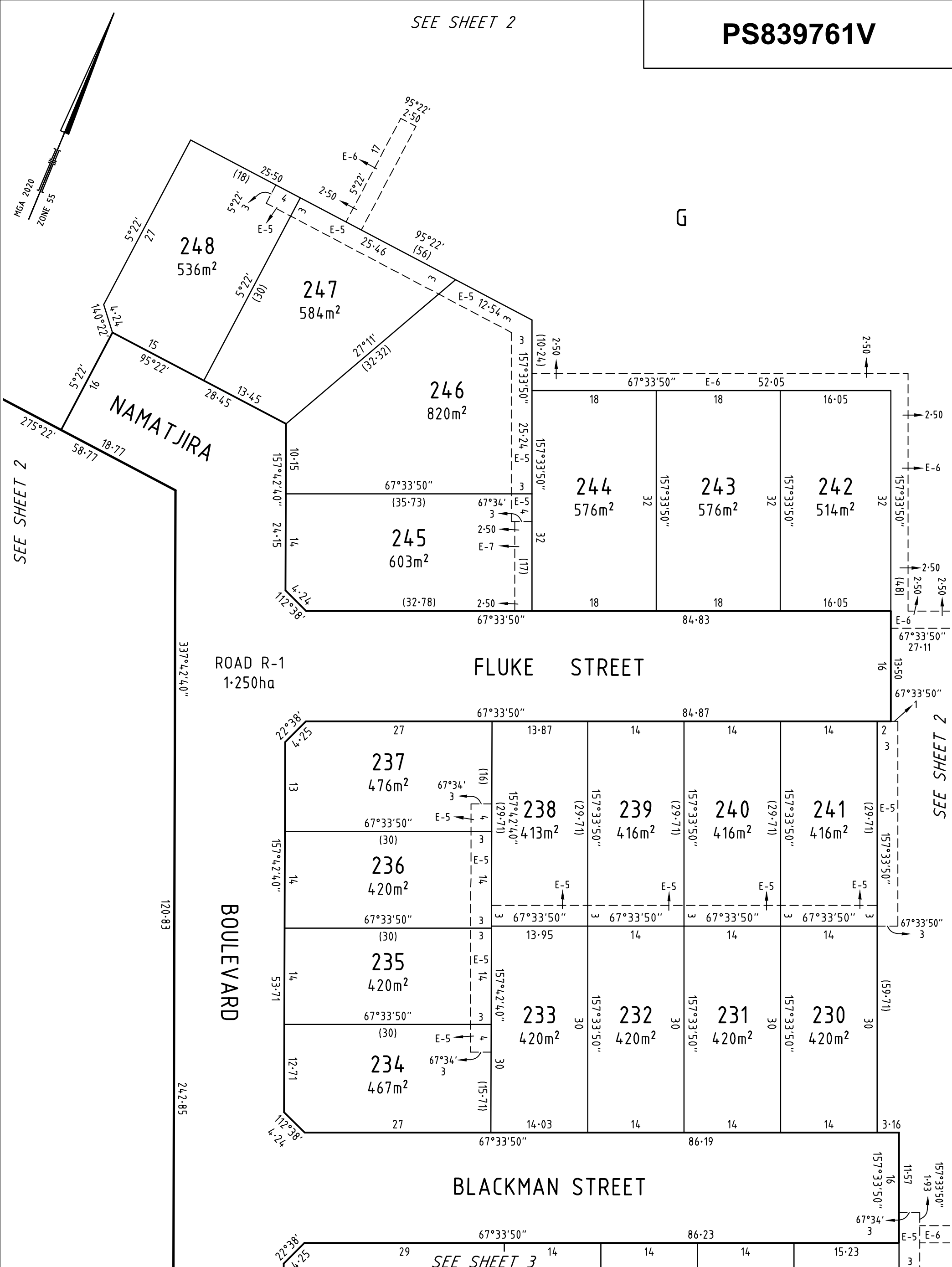
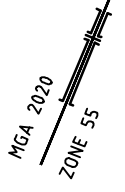


16 Bridge Street
 PO Box 1064
 Bendigo Vic 3550
 T 61 3 5448 2500
 spiire.com.au

Licensed Surveyor: Michael Meehan
 Version: 3

SEE SHEET 2

PS839761V



SEE SHEET 2

SEE SHEET 2

SURVEYOR'S FILE REF: 307572SV00 SCALE 1: 500 ORIGINAL SHEET SIZE: A3 SHEET 4

spiire
 16 Bridge Street
 PO Box 1064
 Bendigo Vic 3550
 T 61 3 5448 2500
 spiire.com.au

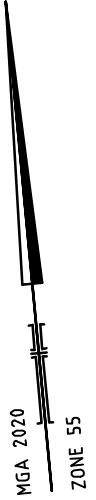
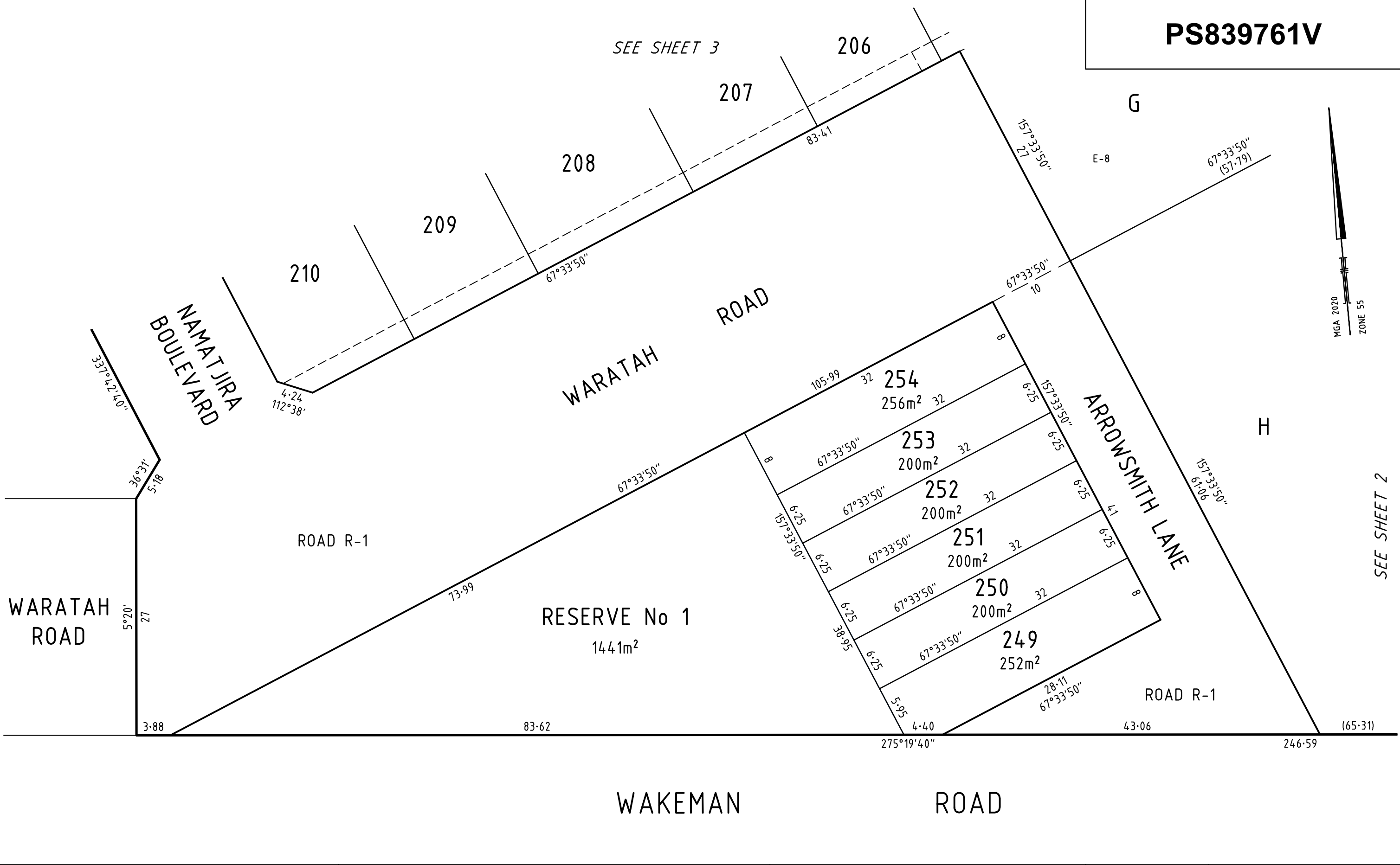
SCALE 1: 500
 5 0 5 10 15 20
 LENGTHS ARE IN METRES

Licensed Surveyor: Michael Meehan
 Version: 3

ORIGINAL SHEET SIZE: A3

SHEET 4

PS839761V



SEE SHEET 2

SURVEYOR'S FILE REF: 307572SV00

spiire
16 Bridge Street
PO Box 1064
Bendigo Vic 3550
T 61 3 5448 2500
spiire.com.au

SCALE
1: 400

4 0 4 8 12 16
LENGTHS ARE IN METRES

Licensed Surveyor: Michael Meehan
Version: 3

ORIGINAL SHEET
SIZE: A3

SHEET 5

CREATION OF RESTRICTION No. 1

The following restriction is to be created upon registration of this plan:

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Burdened Land: Lots 201 to 210 (both inclusive) and 212 to 254 (both inclusive) on this plan
Benefited Land: Lots 201 to 210 (both inclusive) and 212 to 254 (both inclusive) on this plan

Restriction:

The burdened land must not be used or developed other than in accordance with the provisions recorded in the Memorandum of Common Provisions with dealing number AA7644.

Expiry Date:

This restriction will expire 10 years after the date of registration of this plan.