

PROVENANCE ESTATE STAGE 7

GENERAL NOTES:

A. GENERAL

1. ALL WORK TO BE CARRIED OUT TO CITY OF GREATER BENDIGO SPECIFICATIONS, STANDARD DRAWINGS AND TO THE SATISFACTION OF COUNCIL'S SENIOR SURVEILLANCE OFFICER OR HIS REPRESENTATIVE.
2. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AND ALL COORDINATES ARE TO MAP GRID OF AUSTRALIA (MGA).
3. THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS CORRECT.
4. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND ONLY RE-TOPSOILED ON THE DIRECTION OF THE ENGINEER, TO THE FINAL FILL LEVELS SHOWN ON THE DRAWINGS. ALL FILLING IS TO BE:
 - APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT.
 - PLACED IN LAYERS NOT EXCEEDING 200MM LOOSE THICKNESS.
 - MOISTURE CONDITIONED TO WITHIN 85% TO 115% OF OPTIMUM MOISTURE CONTENT.
 - COMPACTED TO A MINIMUM 95% (STANDARD) DRY DENSITY RATIO.
 - PLACED UNDER "LEVEL 1" SUPERVISION IN ACCORDANCE WITH AS 3798-1996.
5. EXISTING DEPRESSIONS & DRAINS TRAVERSING THE SITE ARE TO BE CLEANED OUT AND DESLUGGED TO FIRM BASE AND FILLED TO FINISHED SURFACE LEVELS TO THE SPECIFIED COMPACTION STANDARDS.
6. TBM'S TO BE RE-ESTABLISHED BY THE LICENSED SURVEYOR IF FOUND TO BE MISSING AT THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF TBM'S THEREAFTER.
7. POSITION CONDUITS SO THAT A MINIMUM DISTANCE BETWEEN TAPPING IS 1.0M. CONDUITS TO BE LOCATED MIDWAY BETWEEN FENCE LINE OF LOT, UNLESS OTHERWISE SHOWN.
8. BEFORE COMMENCING WORK ON EXCAVATIONS IN EXCESS OF 1.5 M DEEP, THE REQUIRED NOTICE IS TO BE SENT TO THE VICTORIAN WORKCOVER AUTHORITY IN ACCORDANCE WITH THE MINES ACT, 1958 NO 6320 SECTION 385 AND THE OCCUPATIONAL HEALTH AND SAFETY ACT 1985. THIS NOTIFICATION MUST BE RECEIVED BY THE AUTHORITY AT LEAST 3 DAYS PRIOR TO COMMENCING EXCAVATIONS, AND A COPY OF THE NOTIFICATION MUST BE PROVIDED TO THE SUPERINTENDENT.
9. COUNCIL'S REPRESENTATIVE IS TO BE NOTIFIED IN WRITING SEVEN (7) DAYS PRIOR TO THE COMMENCEMENT OF WORKS.
10. NO EXCAVATION WITHIN 5M OF ANY EXISTING TREE WITHOUT APPROVAL OF THE ENGINEER.
11. NO BLASTING IS PERMITTED WITHIN THE CITY OF GREATER BENDIGO WITHOUT OBTAINING COUNCIL'S SPECIAL DISPENSATION.
12. EXCAVATED MATERIAL SURPLUS TO FILLING REQUIREMENTS OF THE WORKS SHALL BE REMOVED FROM SITE AS SPECIFIED.
13. ALL SURPLUS ROCK, CONCRETE AND BITUMINOUS RUBBLE SHALL BE DISPOSED OFF SITE AS SPECIFIED. THE CONTRACTOR SHALL CHECK WITH SUPERINTENDENT WHETHER ANY LARGE ROCKS ARE REQUIRED FOR LANDSCAPE PURPOSES PRIOR TO DISPOSAL.
14. NATURESTRIPS AND ALL AREAS OF CUT OUTSIDE ROAD RESERVE TO BE SURFACED WITH 100MM MINIMUM COMPACTED LAYER OF TOPSOIL.

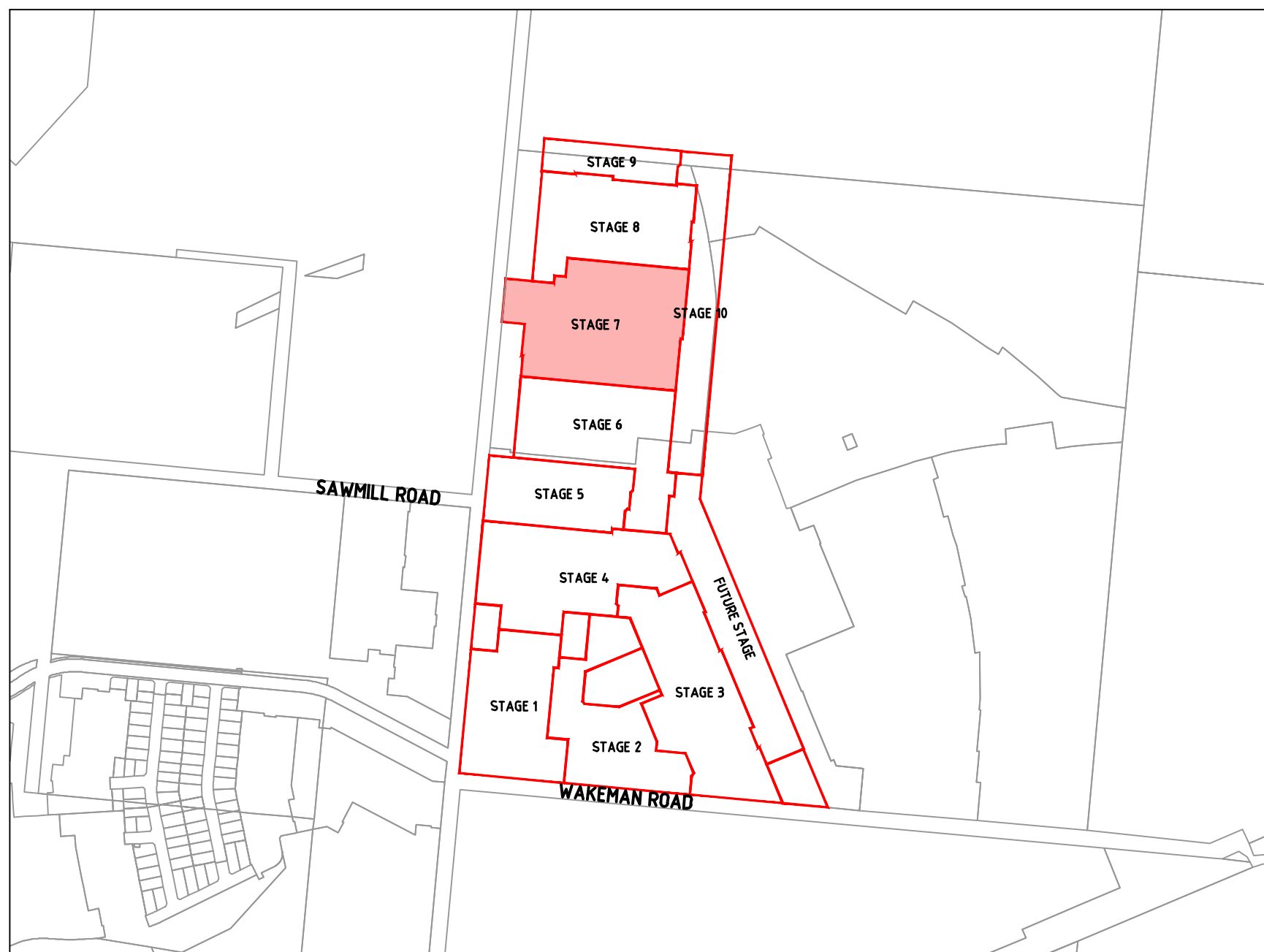
B. ROAD WORKS

1. FOOTPATHS ARE TO BE 1.5M WIDE UNLESS SHOWN OTHERWISE. FOOTPATHS TO BE CONSTRUCTED TO THE CITY OF GREATER BENDIGO STANDARDS.
2. CONSTRUCT LAYBACK SECTION AT VEHICLE CROSSING, REVERSING BAYS AND CAR PARKING BAYS AND PRAM CROSSING TO THE CITY OF GREATER BENDIGO STANDARDS.
3. ALL CHAINAGES REFER TO ROAD PAVEMENT CENTRELINES EXCEPT IN COURT HEADS AND INTERSECTIONS WHERE CHAINAGES REFER TO BACK OF KERB.
4. THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION VEHICLES TO THE ROAD RESERVE AND EASEMENTS. ANY DAMAGE CAUSED TO ALLOTMENTS MUST BE MADE GOOD.
5. ALL BATTERS SHALL BE TO THE CITY OF GREATER BENDIGO STANDARDS.
 - CUT 1 IN 12 UNLESS OTHERWISE SHOWN.
 - FILL 1 IN 12 UNLESS OTHERWISE SHOWN.
6. ALL SET OUT INFORMATION GIVEN IS TO LIP OF KERB UNLESS OTHERWISE SHOWN.
7. WHERE CRUSHED ROCK IS SHOWN UNDER CONCRETE FOOTPATHS CONSTRUCTED ON FILL, THE CRUSHED ROCK IS TO BE 20MM CLASS 3. WHERE CUT BATTERS ARE STEEPER THAN 16 THEY MUST BE HYDRO MULCHED.
8. SUBGRADE BE COMPACTED TO A MINIMUM OF 98% STANDARD MAXIMUM DRY DENSITY (A53798), WITH THE SUBBASE COMPACTED IN ACCORDANCE WITH SCALE C UNIFORMS TABLE 304-871 USING FINE CRUSHED ROCK AND THE BASE COURSE TO 100% MINIMUM MODIFIED DRY DENSITY. ANY FILLING BENEATH ROAD PAVEMENT AREAS TO BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY. COMPACTION TESTING TO BE AS PER COUNCIL REQUIREMENTS.
9. ANY BACKFILL WITHIN 10M OF A COUNCIL ASSET (FOOTPATH OR ROAD) IS TO BE FCR. FILL MATERIAL IS ACCEPTABLE IF COMPACTED TO ENSURE 95% COMPACTION. COMPACTION TESTING TO BE PERFORMED AT ONE PER 60M OF TRENCH.
10. CONCRETE TO HAVE 28DAY STRENGTH OF 25MPA UNLESS NOTED OTHERWISE

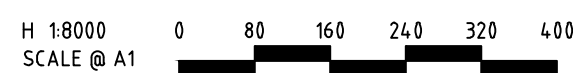


WARNING

BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.



LOCALITY PLAN



DRAWING SCHEDULE

DRAWING	DESCRIPTION	SHEET No.	REVISION
CR100	GENERAL NOTES - SHEET 1	1	A
CR200	ROAD LAYOUT PLANS - SHEET 1	2	A
CR201	ROAD LAYOUT PLANS - SHEET 2	3	A
CR202	ROAD LAYOUT PLANS - SHEET 3	4	A
CR203	ROAD LAYOUT PLANS - SHEET 4	5	A
CR300	ROAD LONG SECTIONS - SHEET 1	6	A
CR301	ROAD LONG SECTIONS - SHEET 2	7	A
CR302	ROAD LONG SECTIONS - SHEET 3	8	A
CR400	ROAD CROSS SECTIONS - SHEET 1	9	A
CR401	ROAD CROSS SECTIONS - SHEET 2	10	A
CR402	ROAD CROSS SECTIONS - SHEET 3	11	A
CR403	ROAD CROSS SECTIONS - SHEET 4	12	A
CR404	ROAD CROSS SECTIONS - SHEET 5	13	A
CR405	ROAD CROSS SECTIONS - SHEET 6	14	A
CR406	ROAD CROSS SECTIONS - SHEET 7	15	A
CR407	ROAD CROSS SECTIONS - SHEET 8	16	A
CR408	ROAD CROSS SECTIONS - SHEET 9	17	A
CR500	INTERSECTION DETAILS - SHEET 1	18	A
CR501	INTERSECTION DETAILS - SHEET 2	19	A
CR502	INTERSECTION DETAILS - SHEET 3	20	A
CR600	DRAINAGE LONG SECTIONS - SHEET 1	21	A
CR601	DRAINAGE LONG SECTIONS - SHEET 2	22	A
CR602	DRAINAGE LONG SECTIONS - SHEET 3	23	A
CR603	DRAINAGE LONG SECTIONS - SHEET 4	24	A
CR604	DRAINAGE LONG SECTIONS - SHEET 5	25	A
CR605	DRAINAGE LONG SECTIONS - SHEET 6	26	A
CR606	DRAINAGE LONG SECTIONS - SHEET 7	27	A
CR700	PAVEMENT AND TYPICAL DETAILS - SHEET 1	28	A
CR800	SIGNAGE AND LINEMARKING - SHEET 1	29	A

LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN, VALVE AND HYDRANT		
WATER RECYCLED		
UNDERGROUND ELECTRICITY		
OVERHEAD ELECTRICITY & POLE		
TELECOMMUNICATIONS & SERVICE PIT		
OPTIC FIBRE		
GAS MAIN		
SEWER & MAINTENANCE STRUCTURE		
SEWER RISING MAIN		
CENTRAL INVERT		
COUNCIL STORMWATER DRAIN AND PIT		
COUNCIL STORM WATER PITS		
WATER DRAIN		
STORM WATER DRAINAGE PIT NUMBER		
GAS & WATER CONDUITS		
CONCRETE VEHICLE CROSSING		
RIDGE / CHANGE OF GRADE LINE		
SURFACE CONTOUR MINOR		
SURFACE CONTOUR MAJOR		
SURFACE LEVEL		
BATTER LEVEL (TOP / TOE)		
EARTHWORKS GRADE		
SIGN AND POST		
LIGHT & POLE (BY OTHERS)		
STREET SIGN		
PERMANENT SURVEY MARK		
TEMPORARY BENCH MARK		
BOLLARD		
ROAD CHAINAGES		
LOT CHAINAGES		
SETOUT POINT		
LIMIT OF WORKS		
BATTER		
EXCAVATION GREATER THAN 0.20m		
FILLING GREATER THAN 0.20m		
ROCK BEACHING		
FENCE - TREE PROTECTION		
FENCE - VEHICLE EXCLUSION		
FENCES		
TREE (& SURVEYED CANOPY) TO BE RETAINED		
TREE TO BE PROTECTED		
TREE TO BE REMOVED		
VEGETATION LINE		
FOOTPATH		
TACTILE GROUND SURFACE INDICATOR		
KERB TRANSITION		

SERVICE LOCATION TABLE

ROAD NAME	POTABLE WATER		GAS		NBN (TELECOM)		ELECTRICITY			
	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	POLE		U/G CABLE	
							SIDE	OFFSET	SIDE	OFFSET
GREGSON STREET	W	2.40	W	1.90	E	1.90	E	x11	E	2.40
HESTER STREET	W	2.40	W	1.90	E	1.90	E	x11	E	2.40
JARVIS STREET	W	2.40	W	1.90	E	1.90	E	x11	E	2.40
JESSUP STREET	S	2.40	S	1.90	N	1.90	N	x11	N	2.40
HELLIER STREET	E	2.40	E	1.90	W	0.40	W	x11	W	0.90
DELAWARR PARADE	N	2.40	N	1.90	S	1.90	S	x11	S	2.40

1. TELECOMMUNICATIONS AND ELECTRICITY CABLES TO BE CONSTRUCTED IN A COMMON TRENCH IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD DRG's.
2. GAS AND WATER MAINS TO BE CONSTRUCTED IN A COMMON TRENCH.
3. x = OFFSET FROM BACK OF KERB

A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev	Amendments	Approved	Date

Scale



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

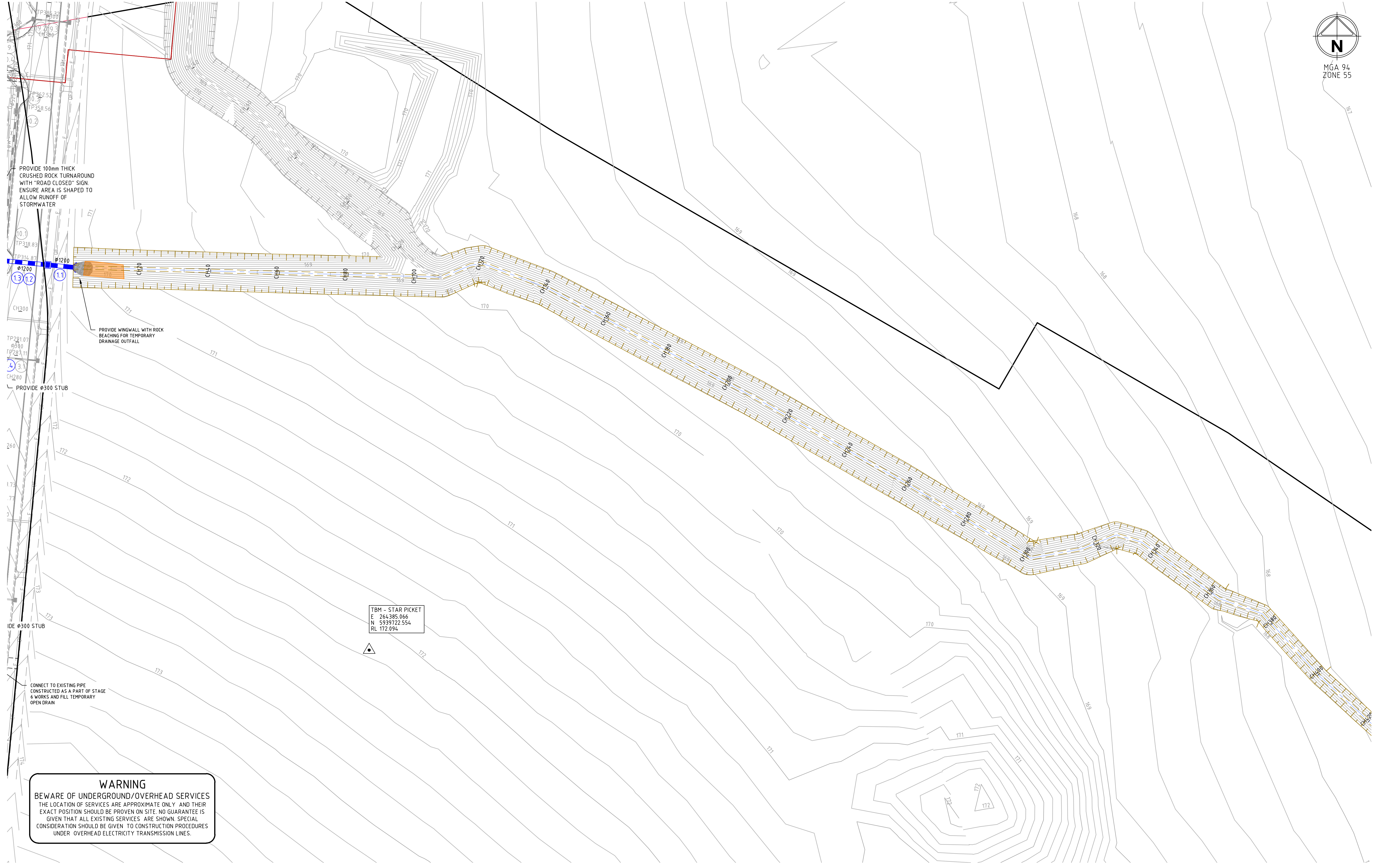
PROVENANCE ESTATE STAGE 7

ROAD AND DRAINAGE
GENERAL NOTES - SHEET 1
 CITY OF GREATER BENDIGO
 HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Drg No
309100CR100

A



TBM - STAR PICKET
E 264385.066
N 5939722.554
RL 172.094

**PROVENANCE ESTATE
STAGE 7**

- SHEET 2

CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

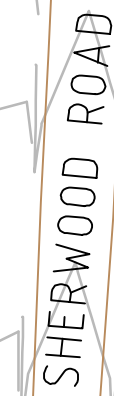
DRAFT	Drig No 309100CR201	Rev A
--------------	-------------------------------	-----------------



WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

A

File name 309100CR200.dwg layout name CR202 plotted by Harry Oakley-Warren
File location G:\30\309100\Civil\ACAD plot date 27/05/2022 9:21 AM Sheet 4 of 29 Sheets



A
6978m²

TBM - ROD
E 264017.073
N 5939805.759
RL 174.306

TBM - STAR PICKET
E 264157.058
N 5939827.006
RL 172.929

RESERVE NO 1
5876m²

FUTURE
PROVENANCE
ESTATE

EXISTING
PROVENANCE
ESTATE

LEGEND

EXCAVATION GREATER THAN 200mm

- FILLING GREATER THAN 200mm

TOP OF BATTER LEVELS

FINISHED SURFACE LEVELS (AT BOUNDARY)

EXISTING SURFACE LEVELS (AT BOUNDARY)

**PROVENANCE ESTATE
STAGE 7
ROAD AND DRAINAGE
ROAD LAYOUT PLANS - SHEET 4
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD**

DRAFT

Drg No
309100CR203

A

spiire

16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed
G.MCCOOMB

Authorised
C.CLARKE

Checked
B.IBBS

Date
MAY 2022

WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY. AND THEIR
EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL
CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES
UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.


WARNING

BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

Scale

H 1:500

SCALE @ A1

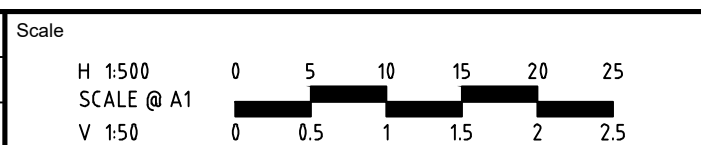


© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev	Amendments	Approved	Date



A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed
G.MCCOOMB
Authorised
C.CLARKE

Checked
B.IBBS
Date
MAY 2022

**PROVENANCE ESTATE
STAGE 7
ROAD AND DRAINAGE
ROAD LONG SECTIONS - SHEET 1
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD**

DRAFT

Drg No
309100CR300

Rev
A



Scale

H 1500
SCALE @ A1
V 150

0 0.5 1 1.5 2 2.5



Checked
B.IBBS
Date
MAY 2022

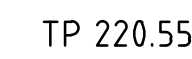
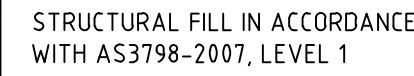
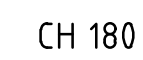
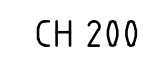
PROVENANCE ESTATE STAGE 7

- SHEET 2

CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT	Orig No 309100CR301	Rev A
--------------	-------------------------------	-----------------

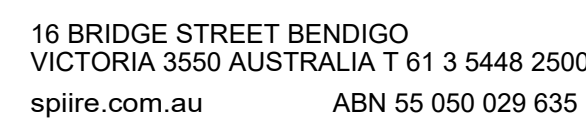
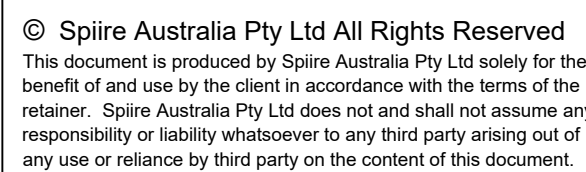
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.



Scale

H 1:100
SCALE @ A1
V 1:50

0 1 2 3 4 5
0 0.5 1 1.5 2 2.5



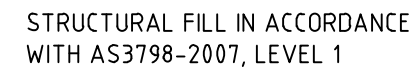
Designed	Checked
G.MCCOOMB	B.IBBS
Authorised	Date
C.CLARKE	MAY 2022

Drg No
309100CR400

A

File name 309100CR400.dwg layout name CR400 plotted by Harry Oakley-Warren
File location G:\30\309100\Civil\ACAD plot date 27/05/2022 9:21 AM Sheet 9 of 29 Sheets

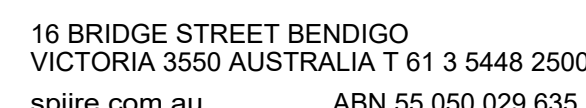
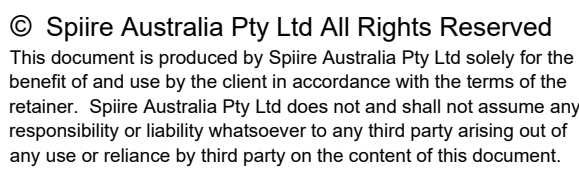
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.



Scale

H 1:100
SCALE @ A1
V 1:50

0 0.5 1 1.5 2 2.5 3 4 5



Designed	Checked
G.MCCOOMB	B.IBBS
Authorised	Date
C.CLARKE	MAY 2022

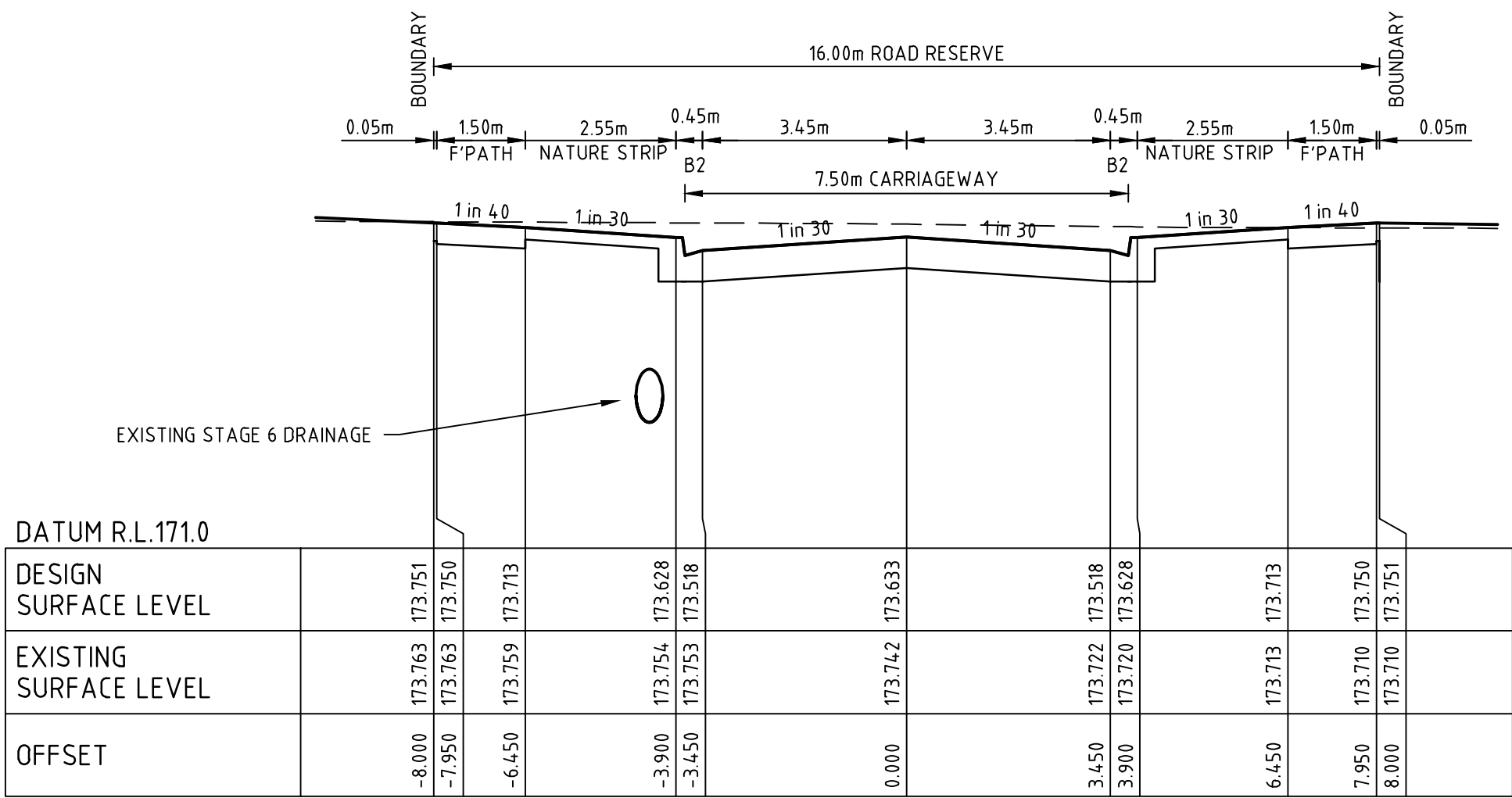
- SHEET 2
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Drg No
30910

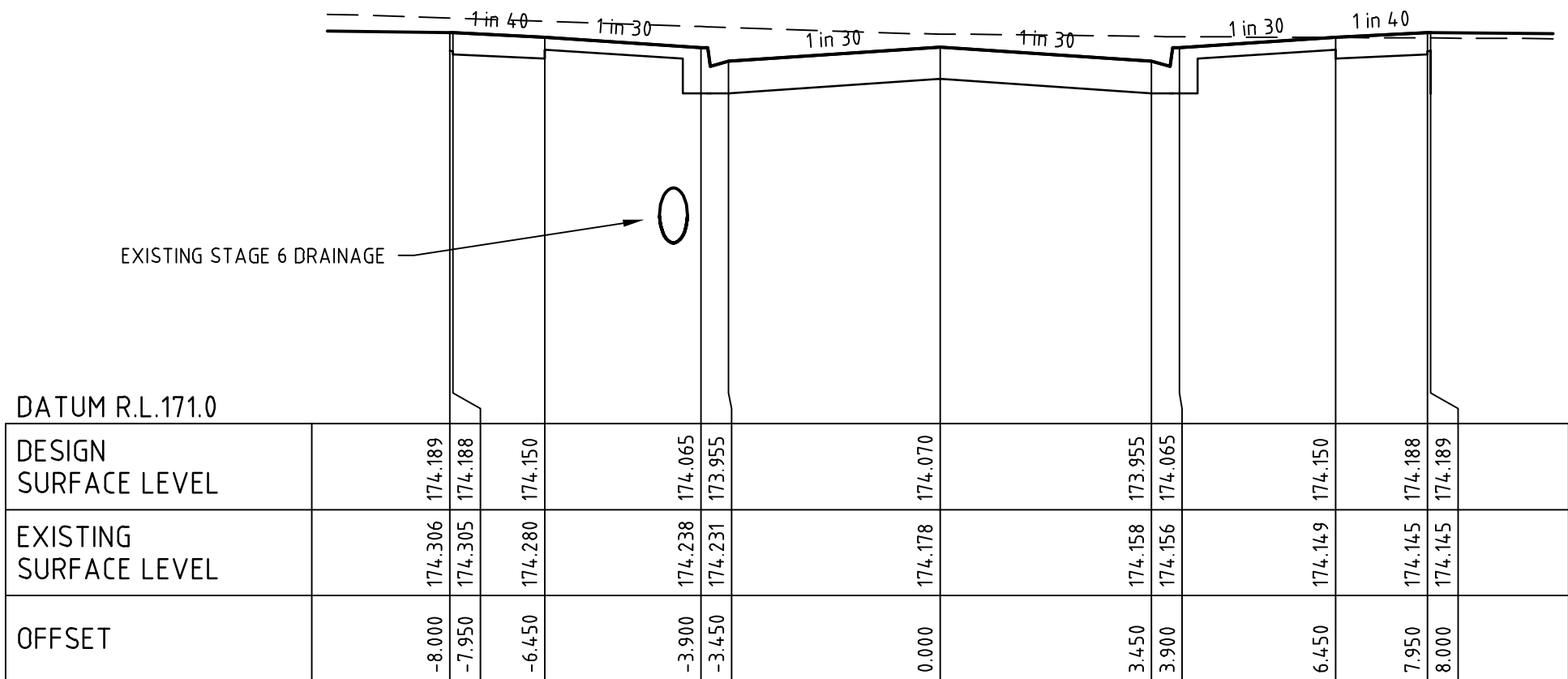
FILLING NOTE
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.

STRUCTURAL FILL IN ACCORDANCE WITH AS3798-2007, LEVEL 1



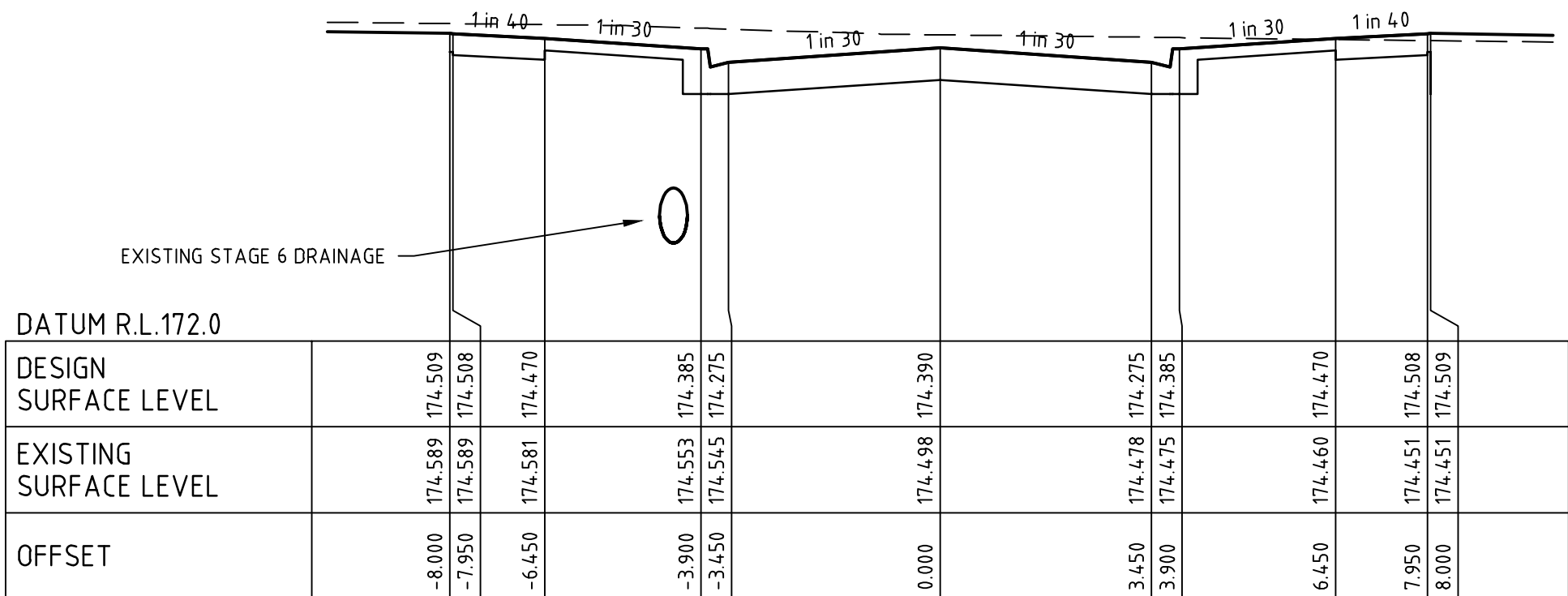
JARVIS STREET

CH 200



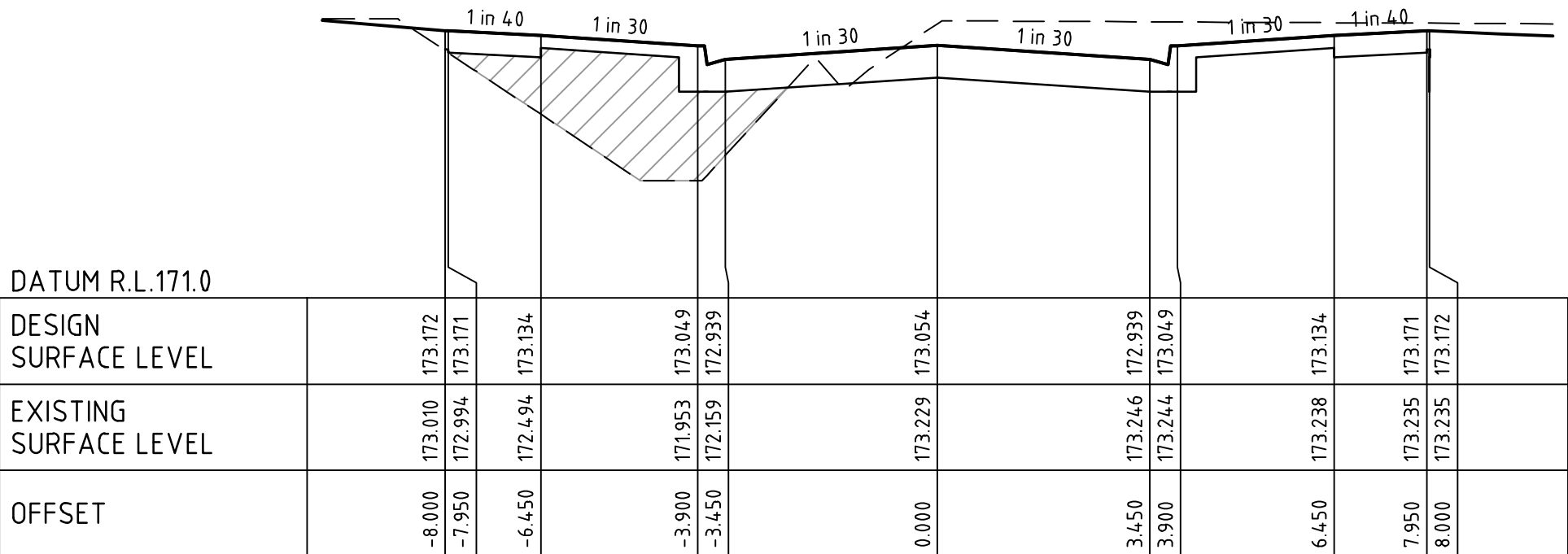
JARVIS STREET

CH 180



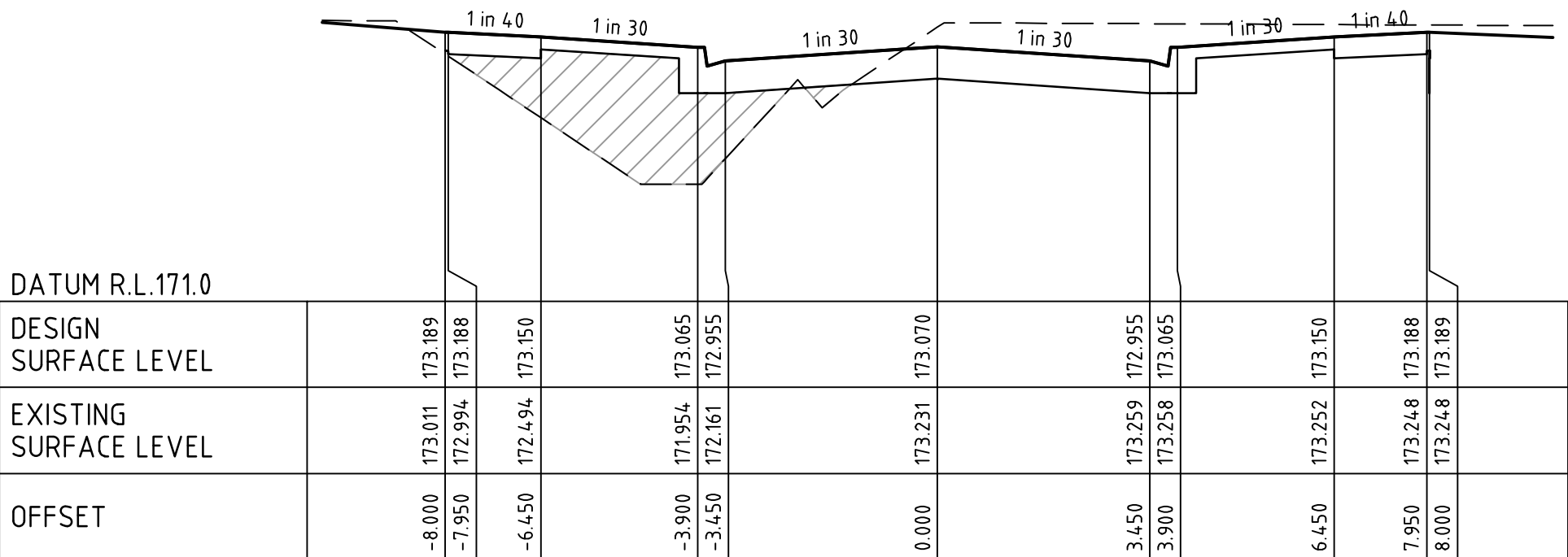
JARVIS STREET

CH 164.00 - MATCH EXISTNG



JARVIS STREET

TP 220.55

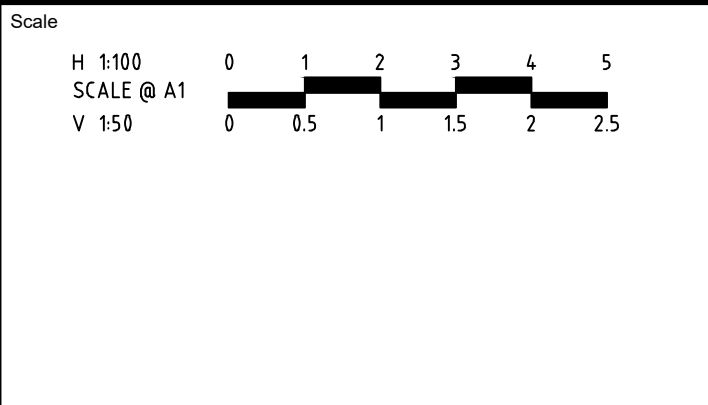


JARVIS STREET

CH 220

file name: 309100CR402.dwg, layout name: CD002, plotted by: Henry Oakley - Version, file location: G:\309100CR402\CD002\CD002.dwg, plot date: 27/05/2022 09:27 AM, sheet: 11 of 29 Sheets

Rev	A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev		Amendments	Approved	Date



spiire

16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

**PROVENANCE ESTATE
STAGE 7**

- SHEET 3
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

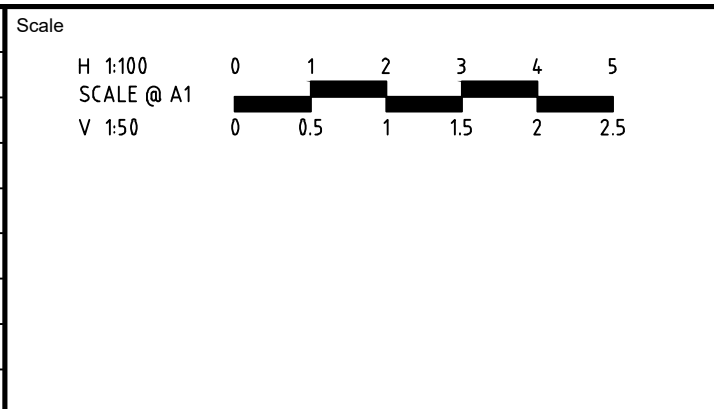
Drp No
309100CR402

Rev
A

ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.



A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev	Amendments	Approved	Date



Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

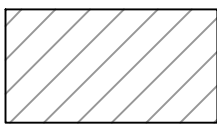
**PROVENANCE ESTATE
STAGE 7**

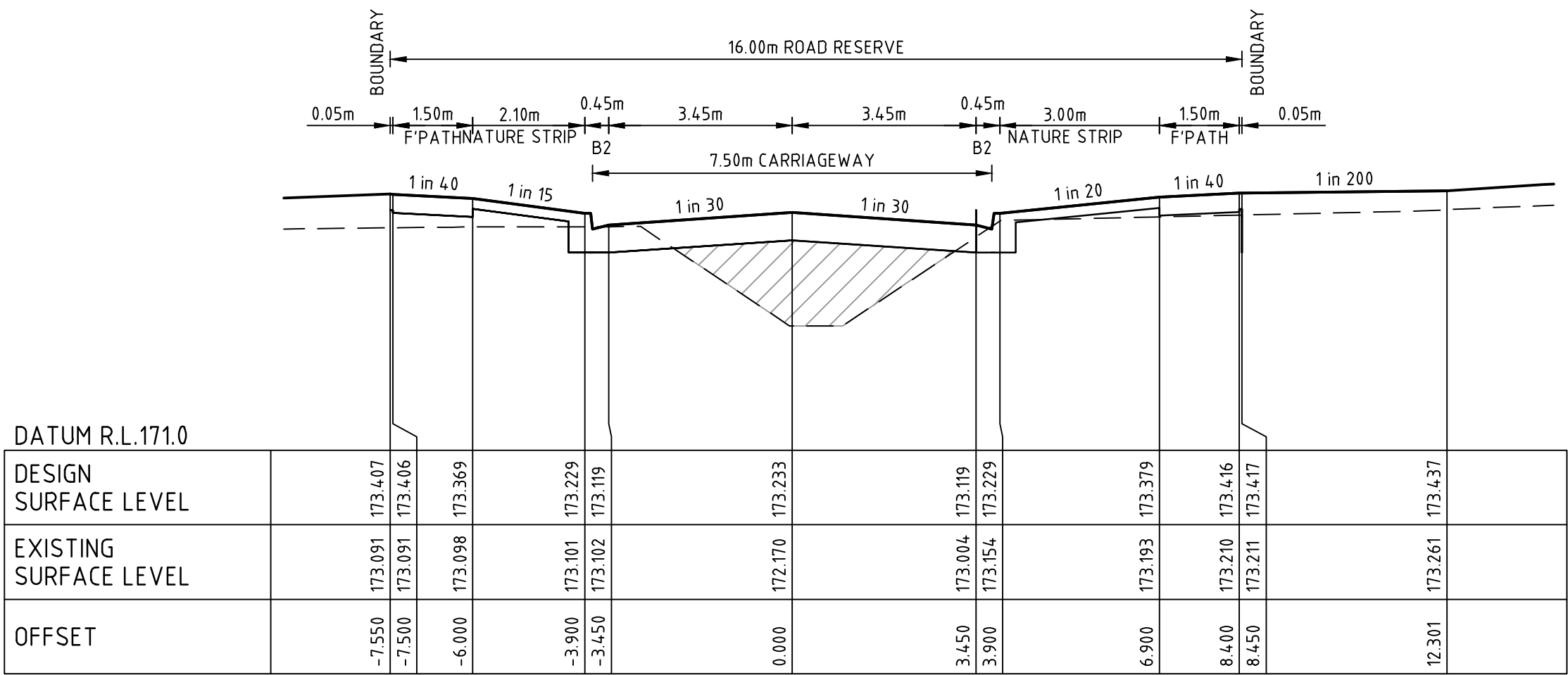
- SHEET 4

CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT Drg No 309100CR403 Rev A

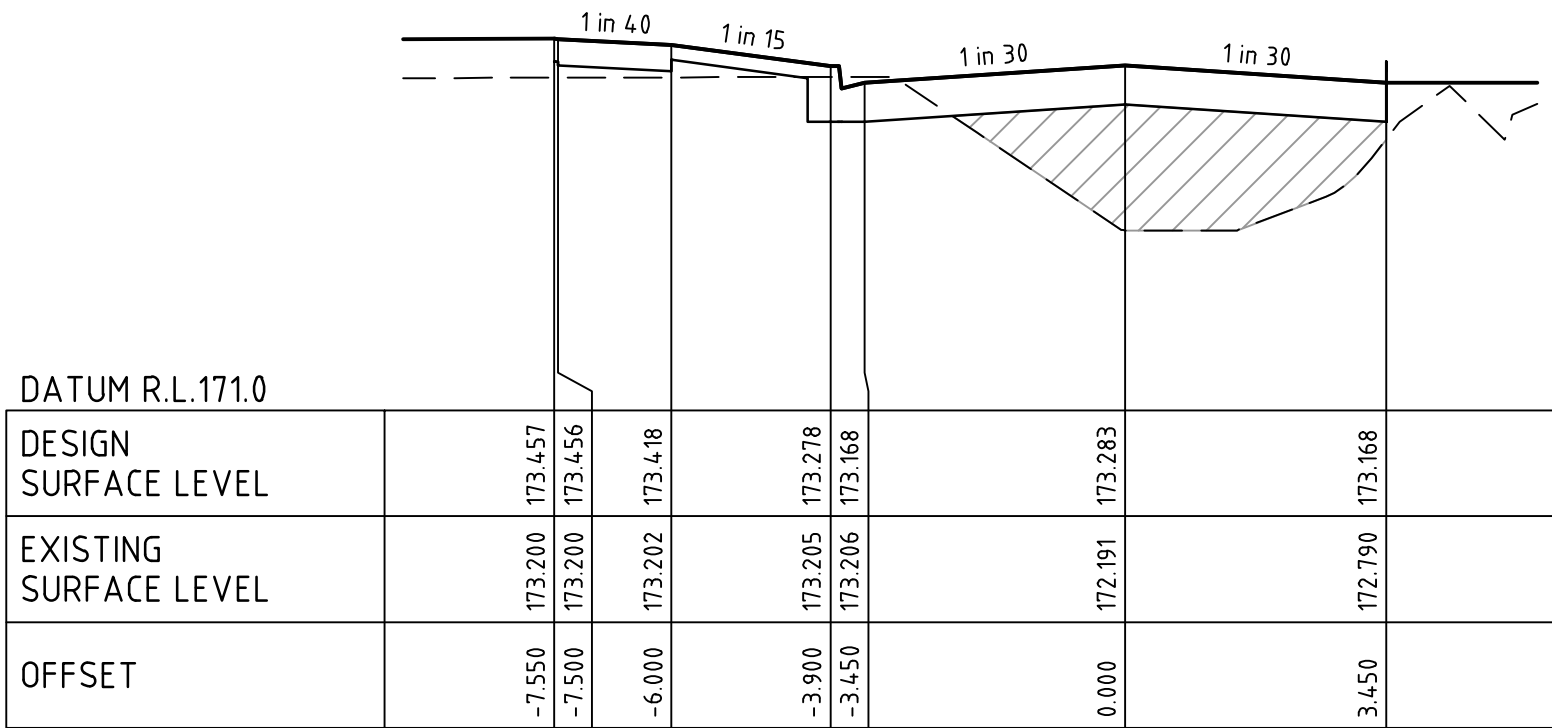
FILLING NOTE
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.

 STRUCTURAL FILL IN ACCORDANCE WITH AS3798-2007, LEVEL 1



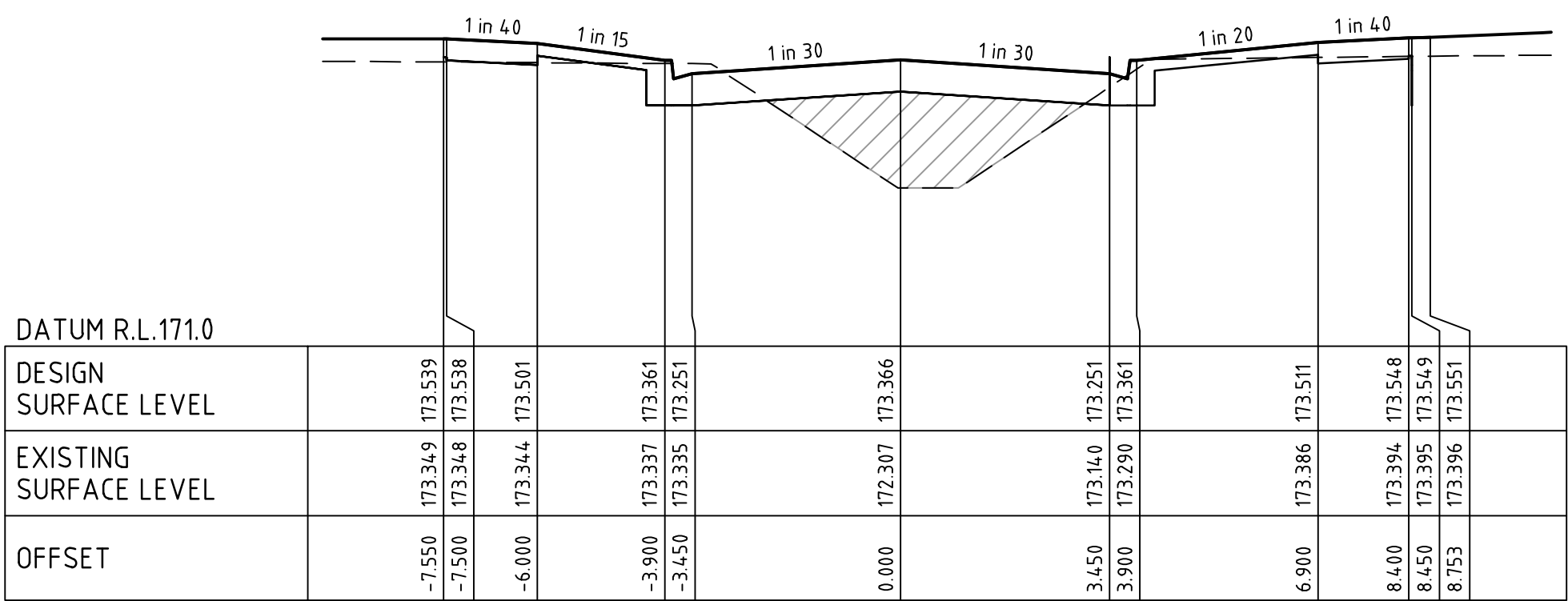
JESSUP STREET

TP 149.90



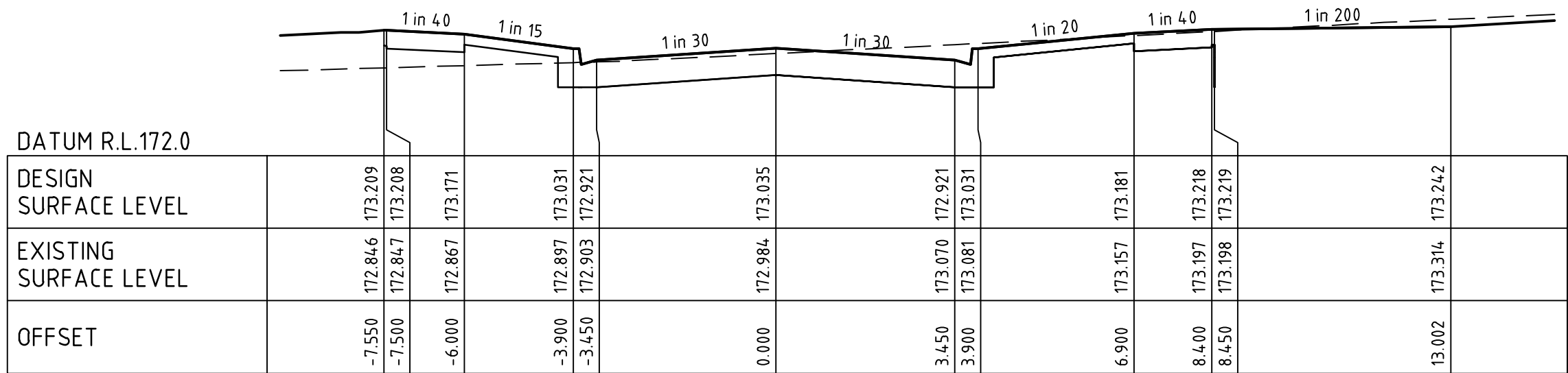
JESSUP STREET

CH 140



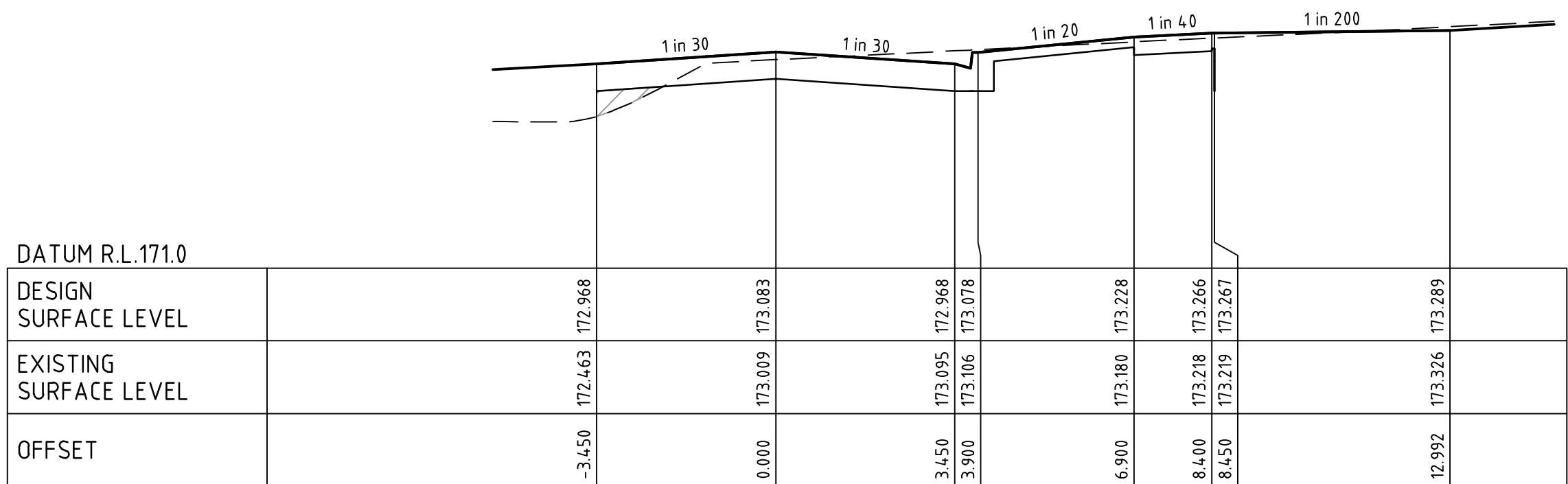
JESSUP STREET

TP 126.10



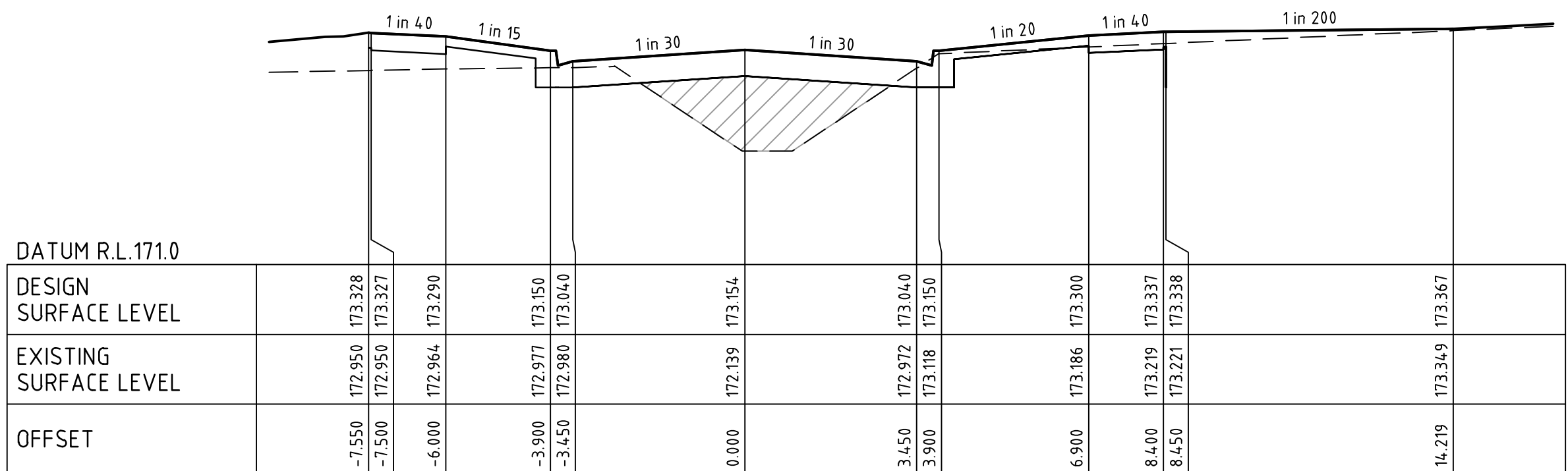
JESSUP STREET

TP 189.50



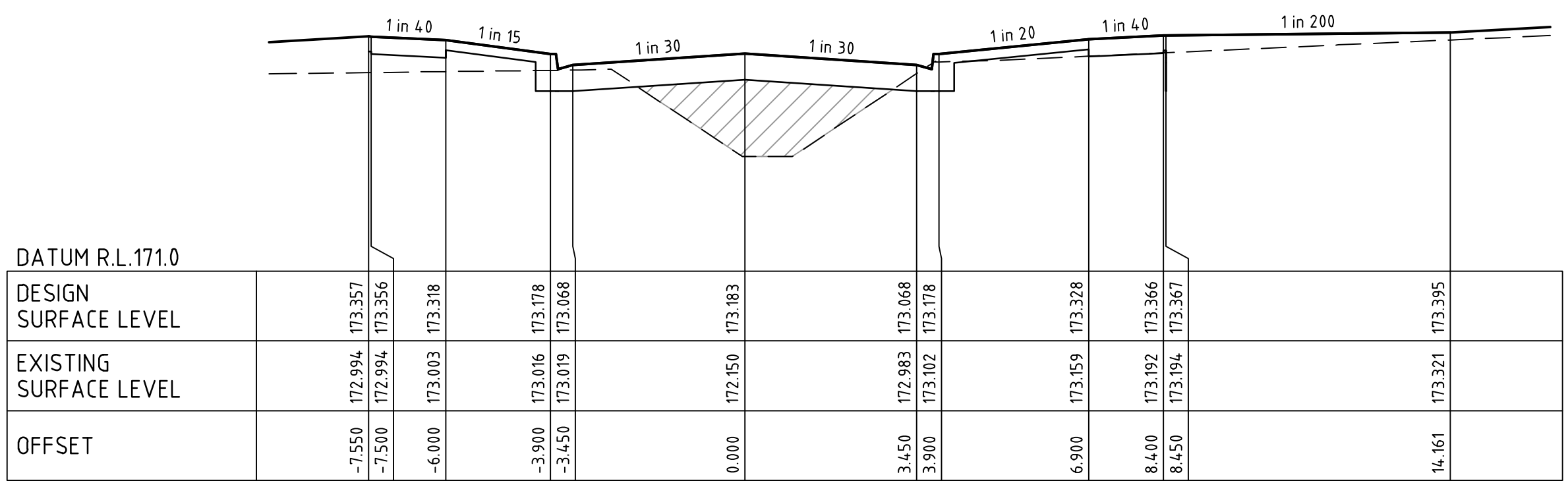
JESSUP STREET

CH 180



JESSUP STREET

TP 165.70

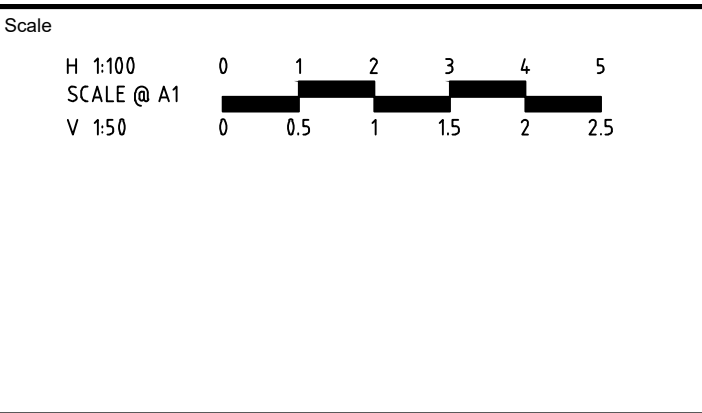


JESSUP STREET

CH 160

file name: 309100CR404.dwg, layout name: CD04.dwg, plotted by: Harry Oakley - Warran
file location: G:\309100\309100\CD04.dwg, plot date: 27/05/2022 12:21 AM, Sheet 13 of 29 Sheets

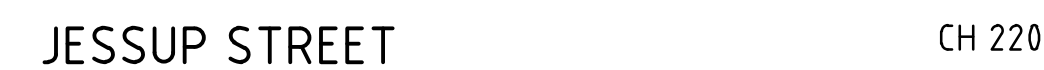
Rev	A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev		Amendments	Approved	Date



Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

PROVENANCE ESTATE STAGE 7		
- SHEET 5 CITY OF GREATER BENDIGO HUNTLY PROPERTY HOLDINGS PTY LTD		
DRAFT	Drg No 309100CR404	Rev A

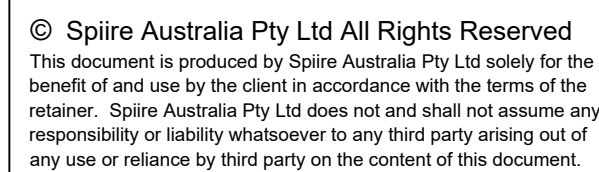
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.



Scale

H 1:100
SCALE @ A1
V 1:50

0 0.5 1 1.5 2 2.5 3 4 5

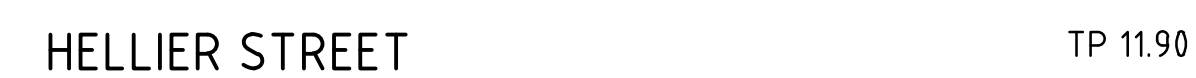


16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Checked
B.IBBS
Date
MAY 2022

Drg No
309100CR405

A



Scale

H 1:100
SCALE @ A1
V 150

0 1 2 3 4 5
0 0.5 1 1.5 2 2.5



**PROVENANCE ESTATE
STAGE 7**

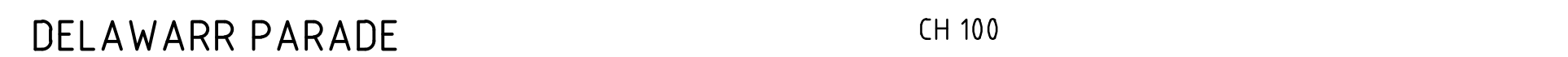
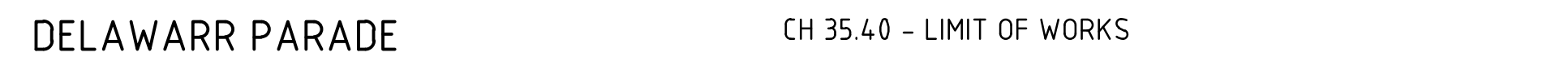
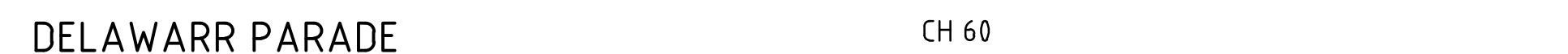
- SHEET 7

CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Org No **309100CR406**

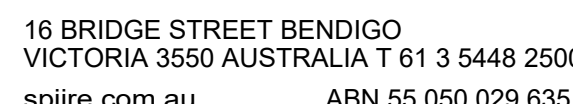
Rev **A**



Scale

H 1:100
SCALE @ A1
V 1:50

0 0.5 1 1.5 2 2.5 3 4 5



Authorised
C.CLARKE

Date
MAY 2022

DRAFT	Drg No 309100CR407	Rev A
--------------	------------------------------	-----------------



Scale

H 1:100
SCALE @ A1
V 1:50

0 1 2 3 4 5
0 0.5 1 1.5 2 2.5



Designed	Checked
G.MCCOOMB	B.IBBS
Authorised	Date
C.CLARKE	MAY 2022

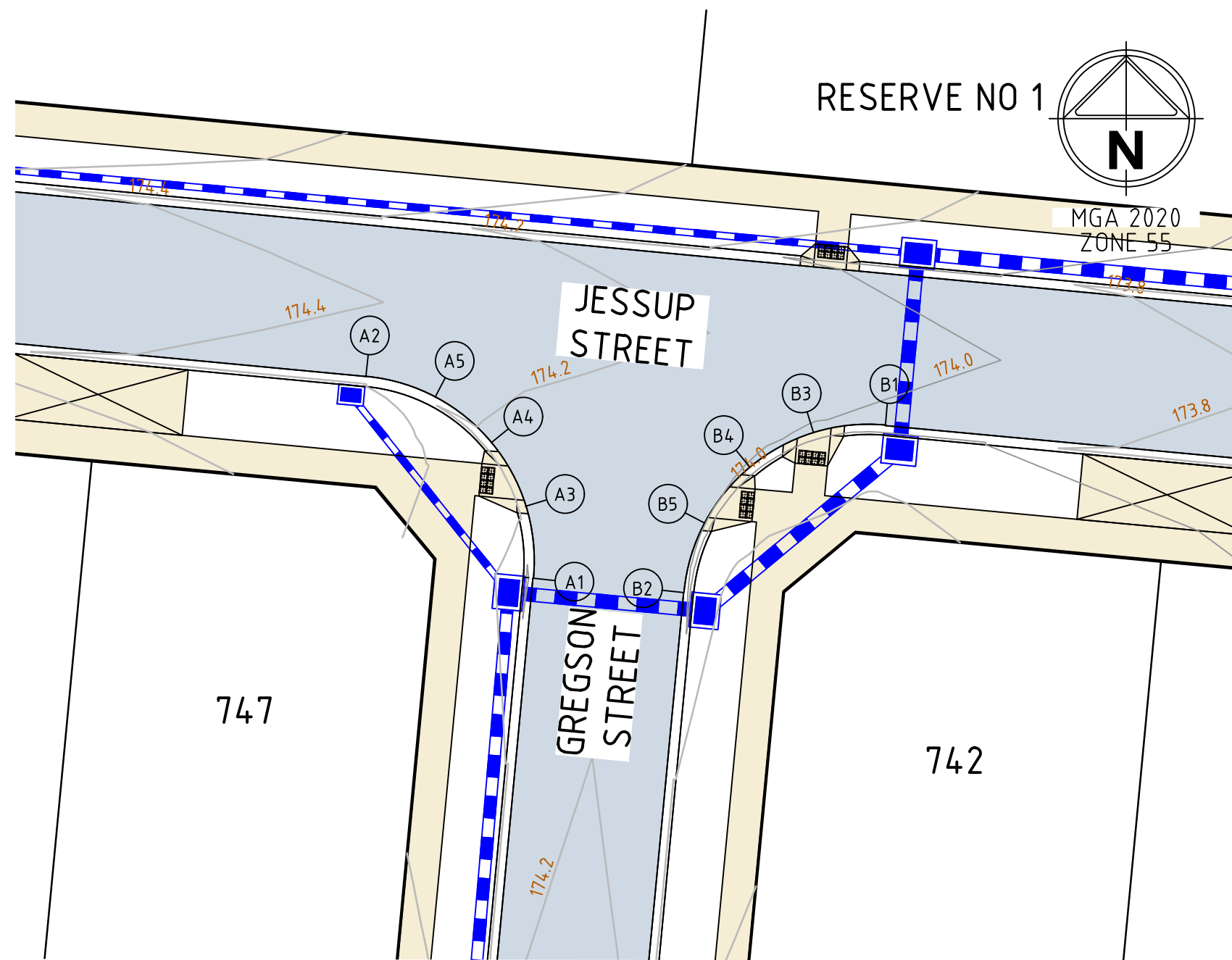
**PROVENANCE ESTATE
STAGE 7**

- SHEET 9

CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

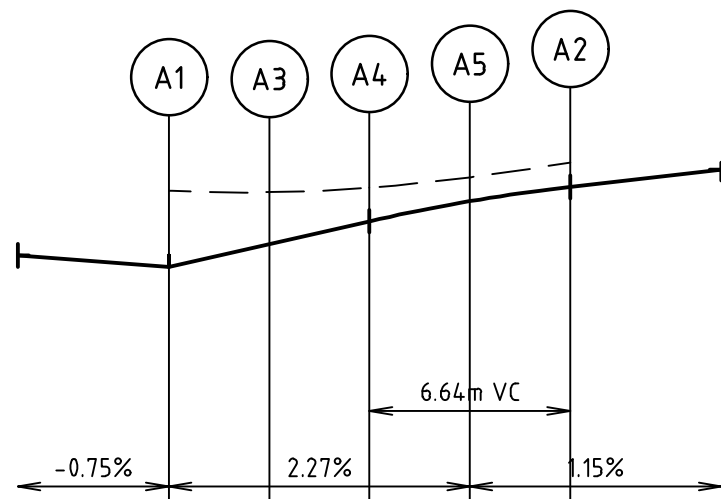
Drg No
30910



ALIGNMENT A - LIP OF KERB

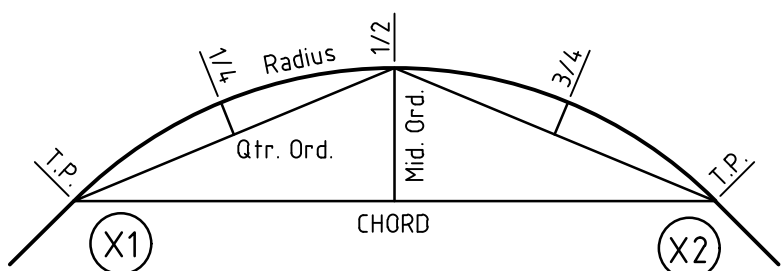
POINT NO	EASTING	NORTHING	RL
A1	264043.343	5939764.258	174.026
A2	264035.721	5939773.461	174.291
A3	264042.924	5939767.789	174.107
A4	264041.438	5939770.438	174.177
A5	264039.112	5939772.391	174.238

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
A1-A2	8.450	13.273	11.950	2.475	1.929

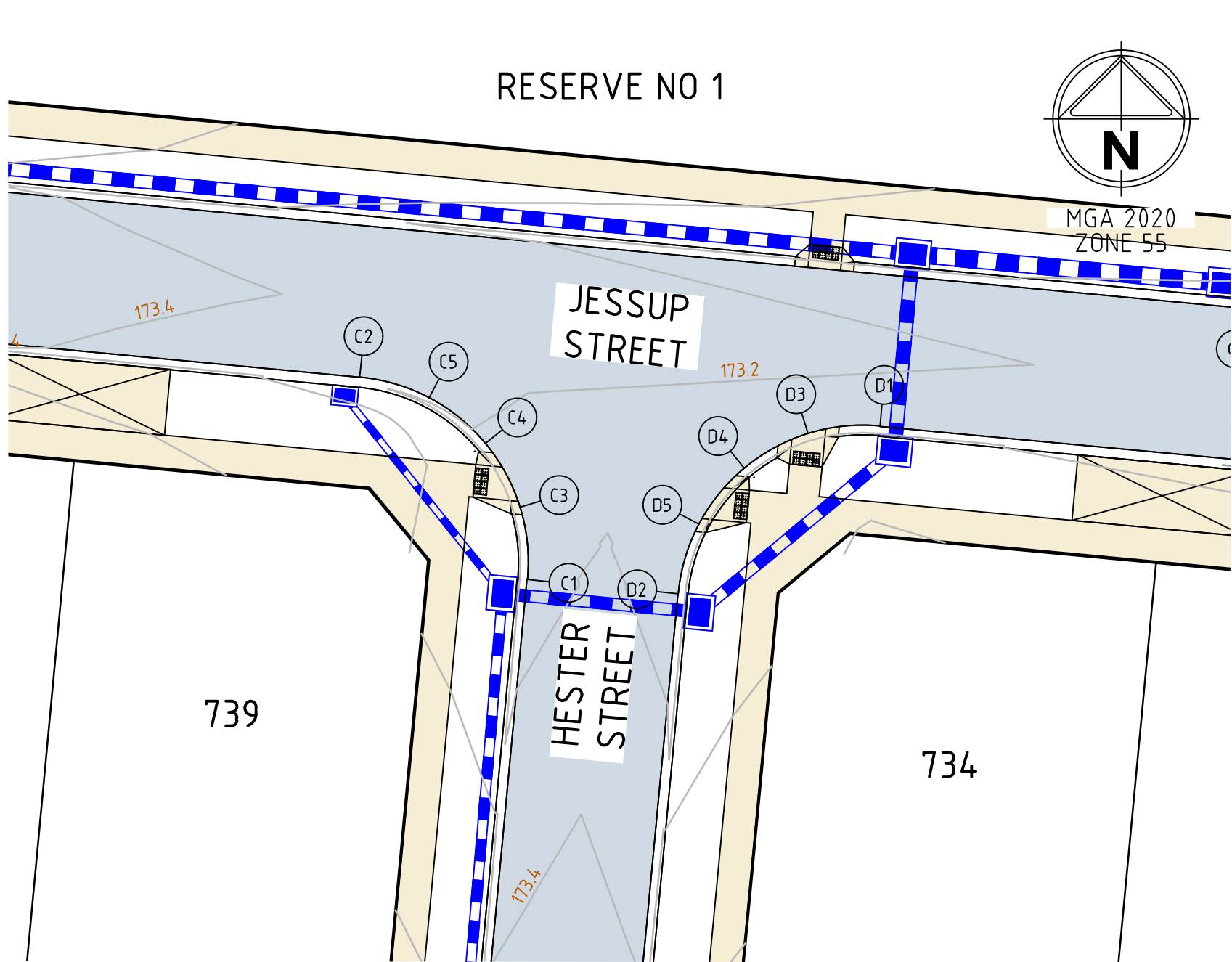


DATUM RL 173.0	DESIGN LEVEL	CHAINAGE
	174.026	0.000
	174.101	3.318
	174.177	6.637
	174.243	9.955
	174.291	13.273

ALIGNMENT A



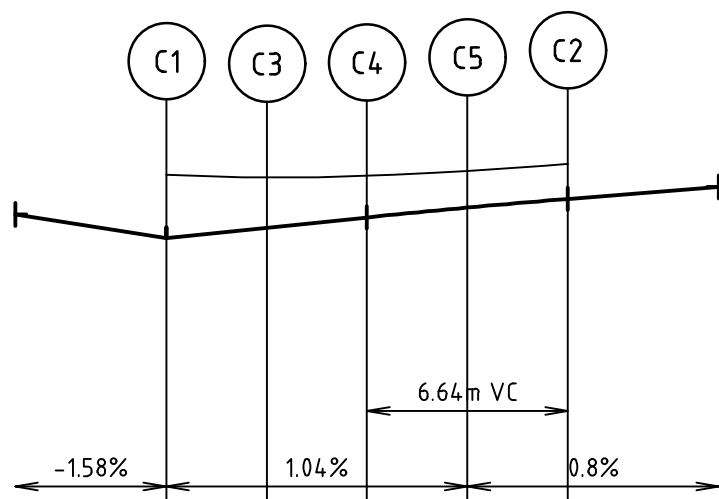
KERB RETURN SETOUT DETAIL



ALIGNMENT C - LIP OF KERB

POINT NO	EASTING	NORTHING	RL
C1	264119.010	5939757.149	173.120
C2	264111.388	5939766.352	173.251
C3	264118.591	5939760.680	173.158
C4	264117.105	5939763.329	173.190
C5	264114.779	5939765.282	173.220

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
C1-C2	8.450	13.273	11.950	2.475	1.929



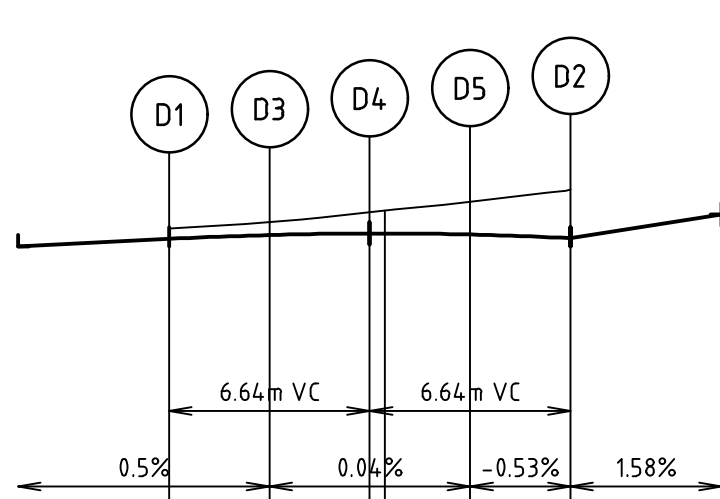
DATUM RL 172.0	DESIGN LEVEL	CHAINAGE
	173.120	0.000
	173.155	3.318
	173.190	6.637
	173.222	9.955
	173.251	13.273

ALIGNMENT C

ALIGNMENT D - LIP OF KERB

POINT NO	EASTING	NORTHING	RL
D1	264135.084	5939764.126	173.119
D2	264125.880	5939756.504	173.120
D3	264131.552	5939763.706	173.132
D4	264128.903	5939762.221	173.137
D5	264126.950	5939759.895	173.134

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
D1-D2	8.450	13.273	11.950	2.475	1.929

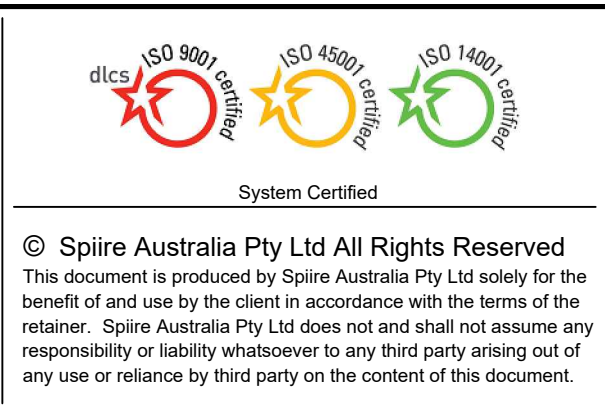
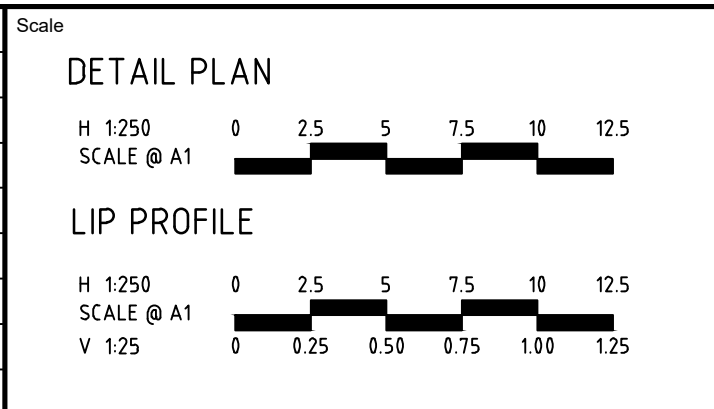


DATUM RL 172.0	DESIGN LEVEL	CHAINAGE
	173.119	0.000
	173.131	3.318
	173.137	6.637
	173.137	7.141
	173.133	9.955
	173.120	13.273

ALIGNMENT D

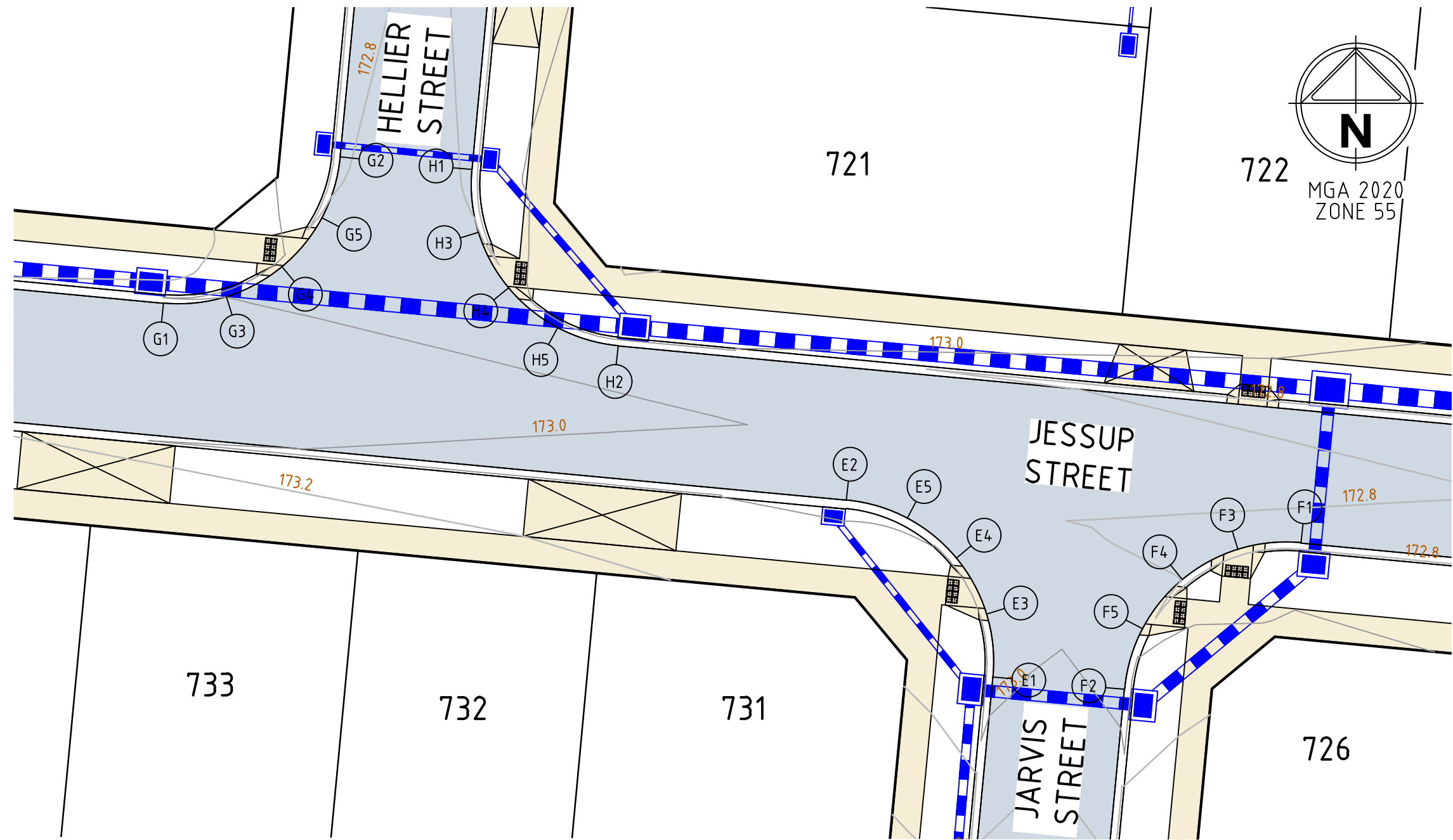
file name: 309100CR500.dwg, layout name: CR500, plotted by: Harry Oakley-Warren
file location: G:\309100CR500\309100CR500.dwg, plot date: 27/05/2022 9:22 AM, sheet 18 of 29 Sheets

Rev	Description	By	Date
A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev	Amendments	Approved	Date



Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

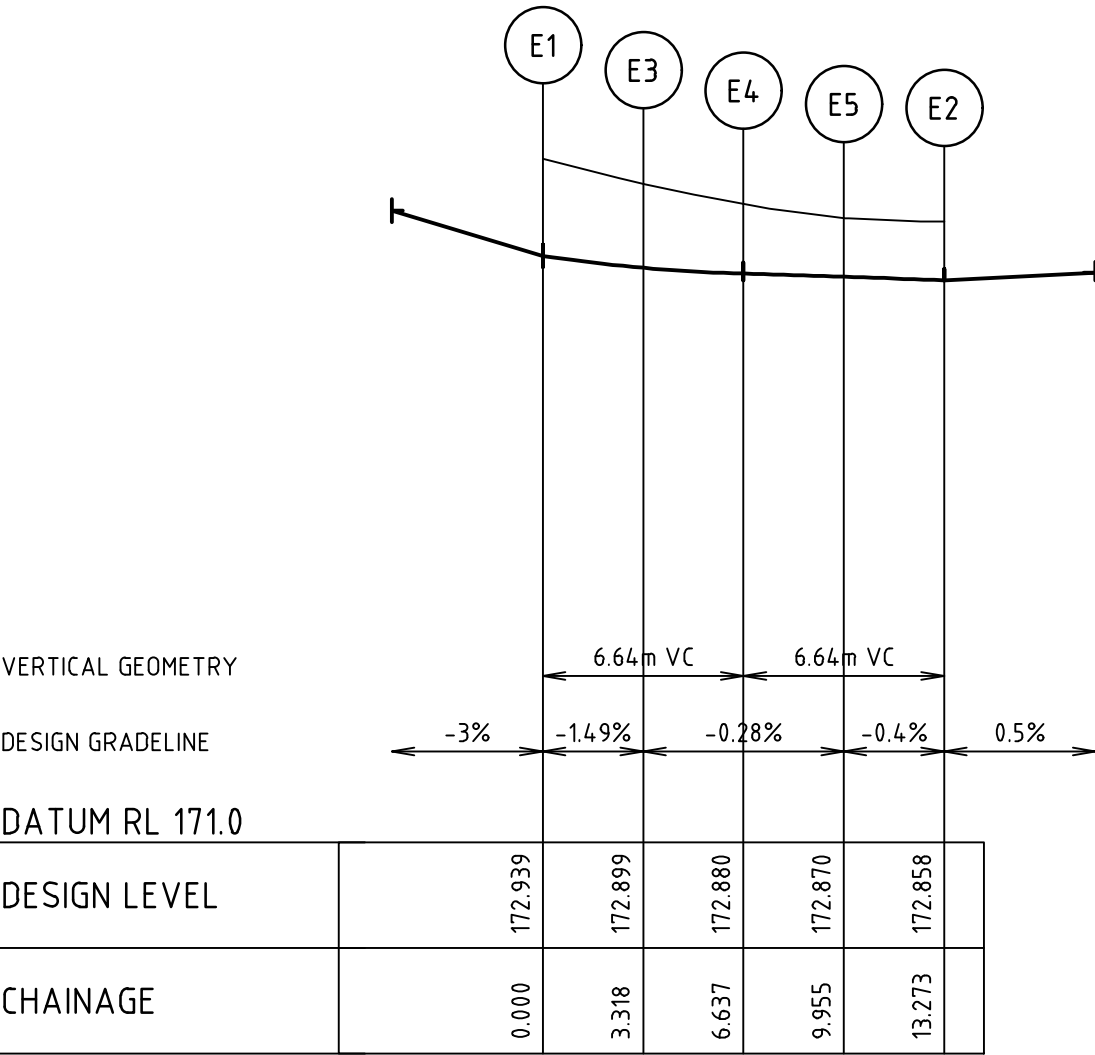
PROVENANCE ESTATE STAGE 7 ROAD AND DRAINAGE INTERSECTION DETAILS - SHEET 1 CITY OF GREATER BENDIGO HUNTLY PROPERTY HOLDINGS PTY LTD	Rev A
--	----------



ALIGNMENT E - LIP OF KERB

POINT NO	EASTING	NORTHING	RL
E1	264194.677	5939750.041	172.939
E2	264187.054	5939759.244	172.858
E3	264194.257	5939753.572	172.897
E4	264192.772	5939756.221	172.880
E5	264190.446	5939758.174	172.871

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
E1-E2	8.450	13.273	11.950	2.475	1.929

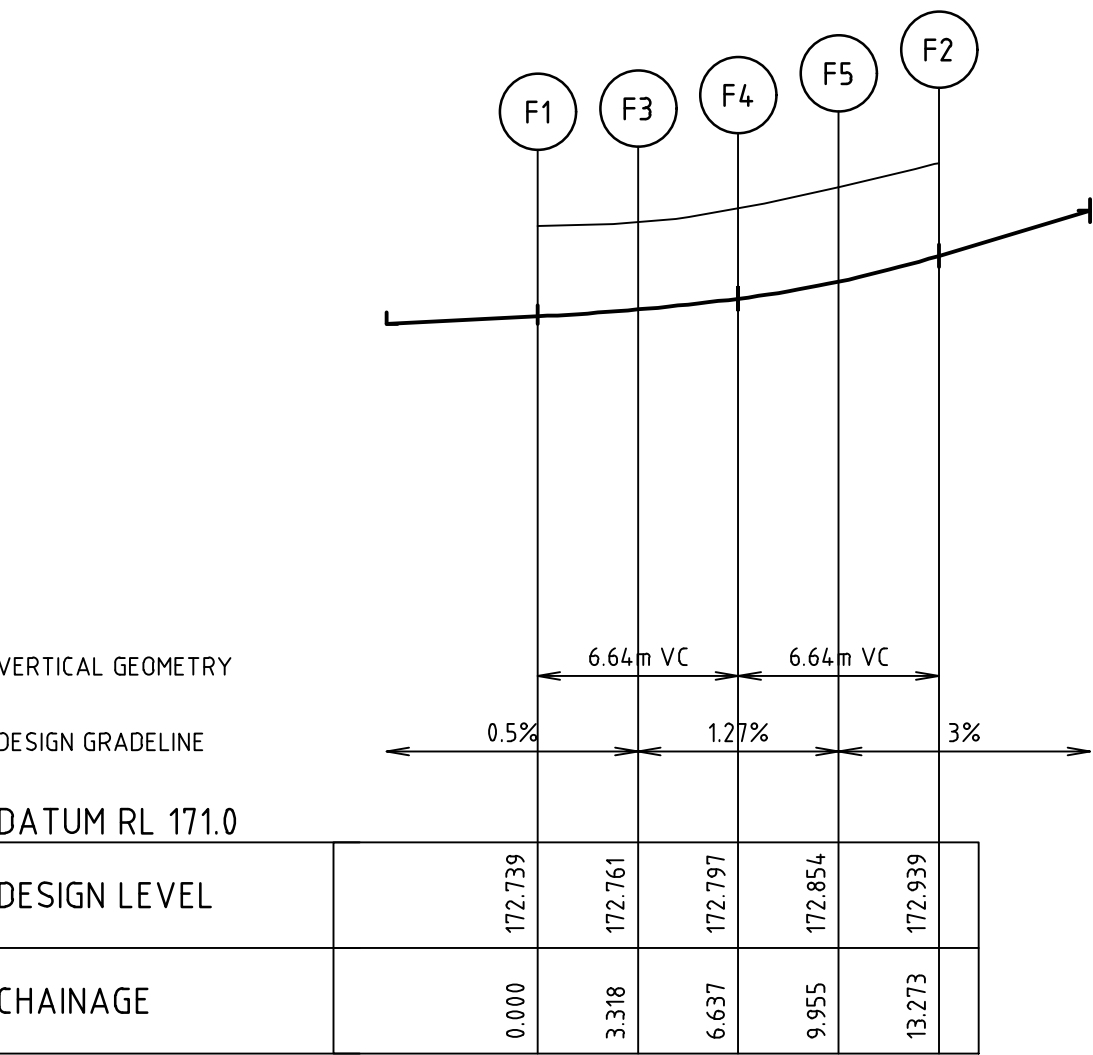


ALIGNMENT E

ALIGNMENT F - LIP OF KERB

POINT NO	EASTING	NORTHING	RL
F1	264210.750	5939757.018	172.739
F2	264201.547	5939749.395	172.939
F3	264207.219	5939756.598	172.764
F4	264204.570	5939755.113	172.797
F5	264202.617	5939752.787	172.848

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
F1-F2	8.450	13.273	11.950	2.475	1.929

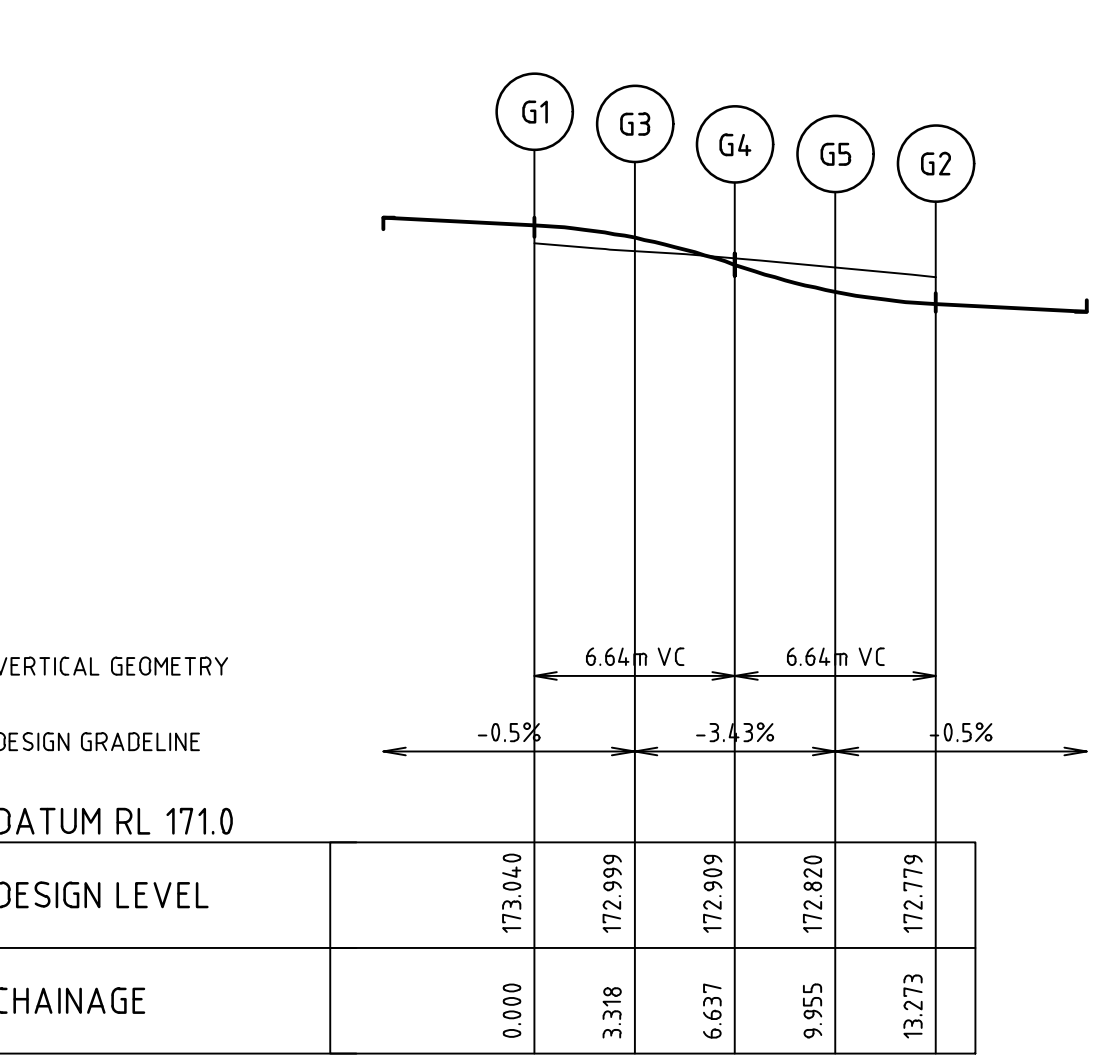


ALIGNMENT F

ALIGNMENT G - LIP OF KERB

POINT NO	EASTING	NORTHING	RL
G1	264151.459	5939769.518	173.040
G2	264160.663	5939777.141	172.779
G3	264154.991	5939769.938	172.993
G4	264157.640	5939771.423	172.909
G5	264159.592	5939773.749	172.825

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
G1-G2	8.450	13.273	11.950	2.475	1.929

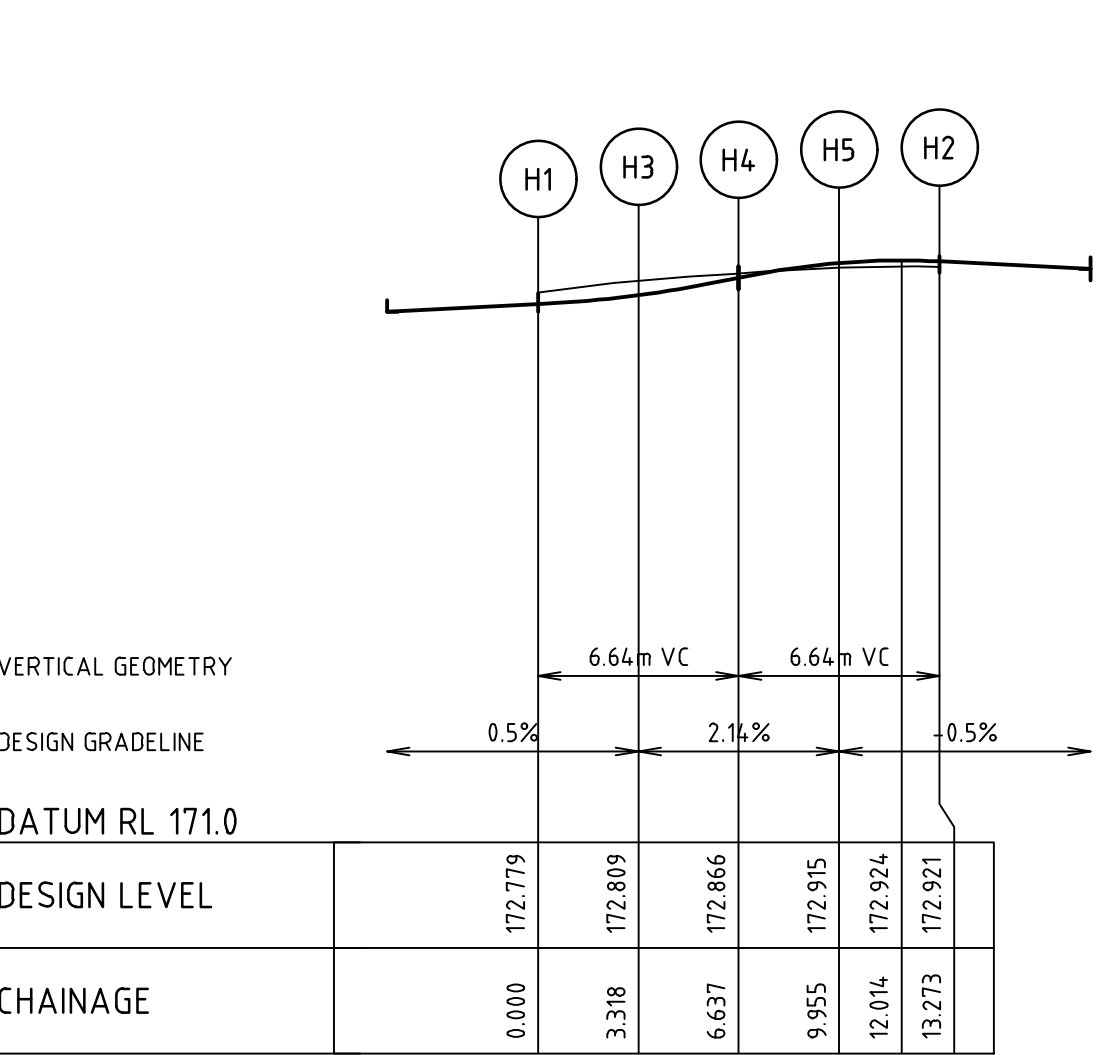


ALIGNMENT G

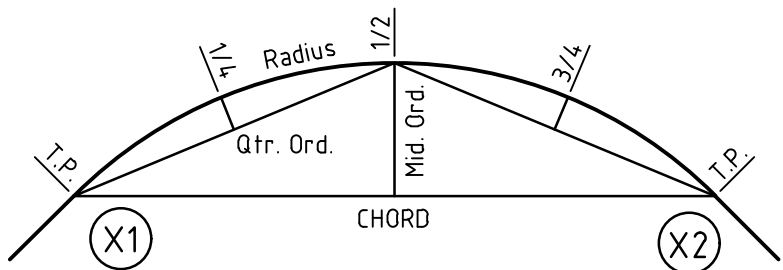
ALIGNMENT H - LIP OF KERB

POINT NO	EASTING	NORTHING	RL
H1	264167.532	5939776.495	172.779
H2	264175.155	5939767.292	172.921
H3	264167.952	5939772.964	172.813
H4	264169.438	5939770.315	172.866
H5	264171.764	5939768.362	172.913

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
H1-H2	8.450	13.273	11.950	2.475	1.929



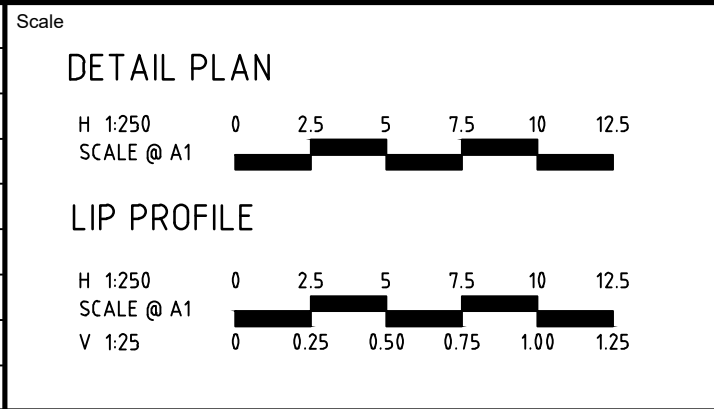
ALIGNMENT H



KERB RETURN SETOUT DETAIL

file name: 309100CR501.dwg, layout name: CR501, plotted by: Harry Oakley-Warren
file location: G:\30130100\309100\309100\ALAD\plot date: 27/05/2022 9:27 AM Sheet 19 of 29 Sheets

Rev	A	PRELIMINARY ISSUE	B. I.	MAY 2022
		Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

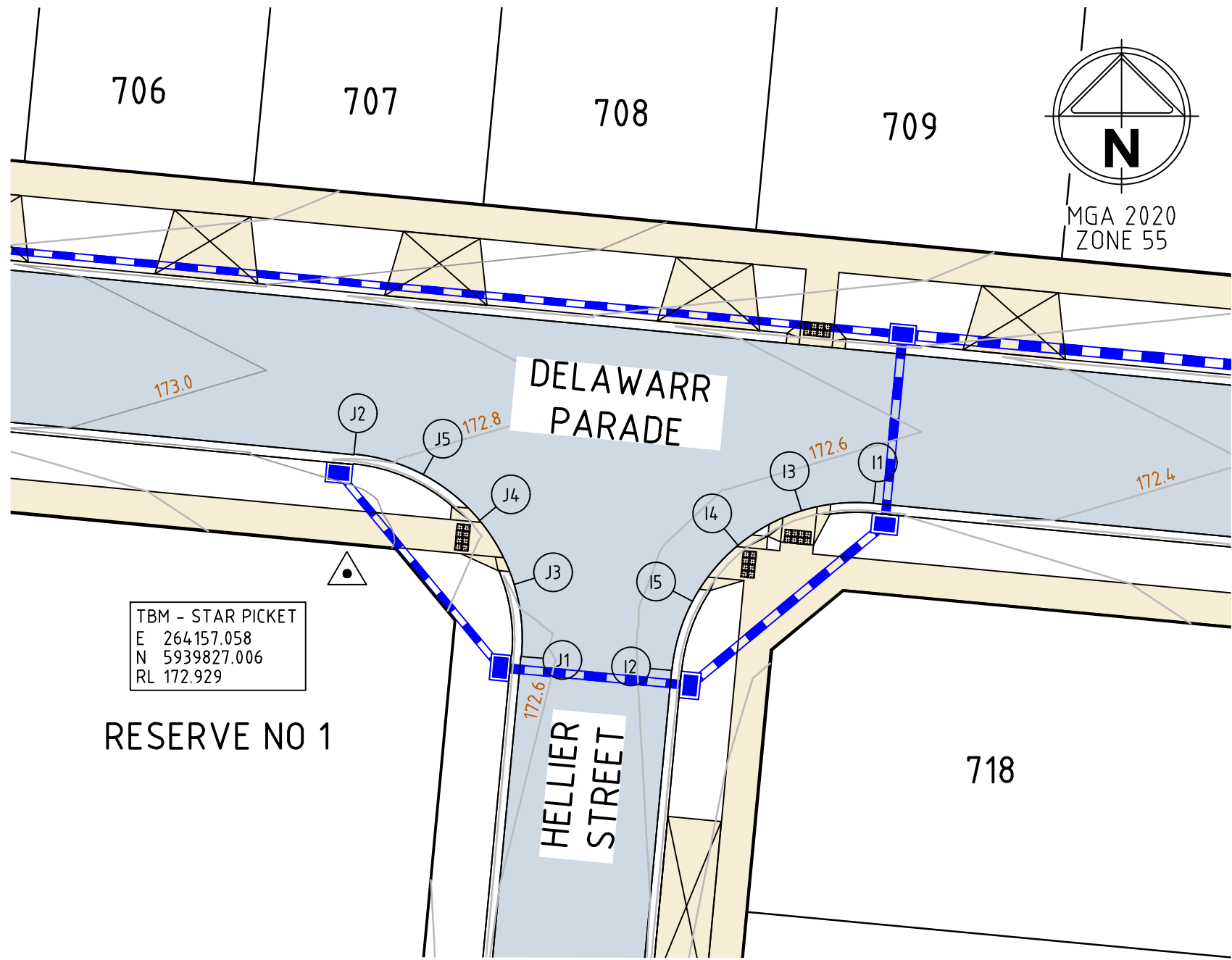
Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

**PROVENANCE ESTATE
STAGE 7**

- SHEET 2
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

Drq No
309100CR501

Rev
A



ALIGNMENT I - LIP OF KERB

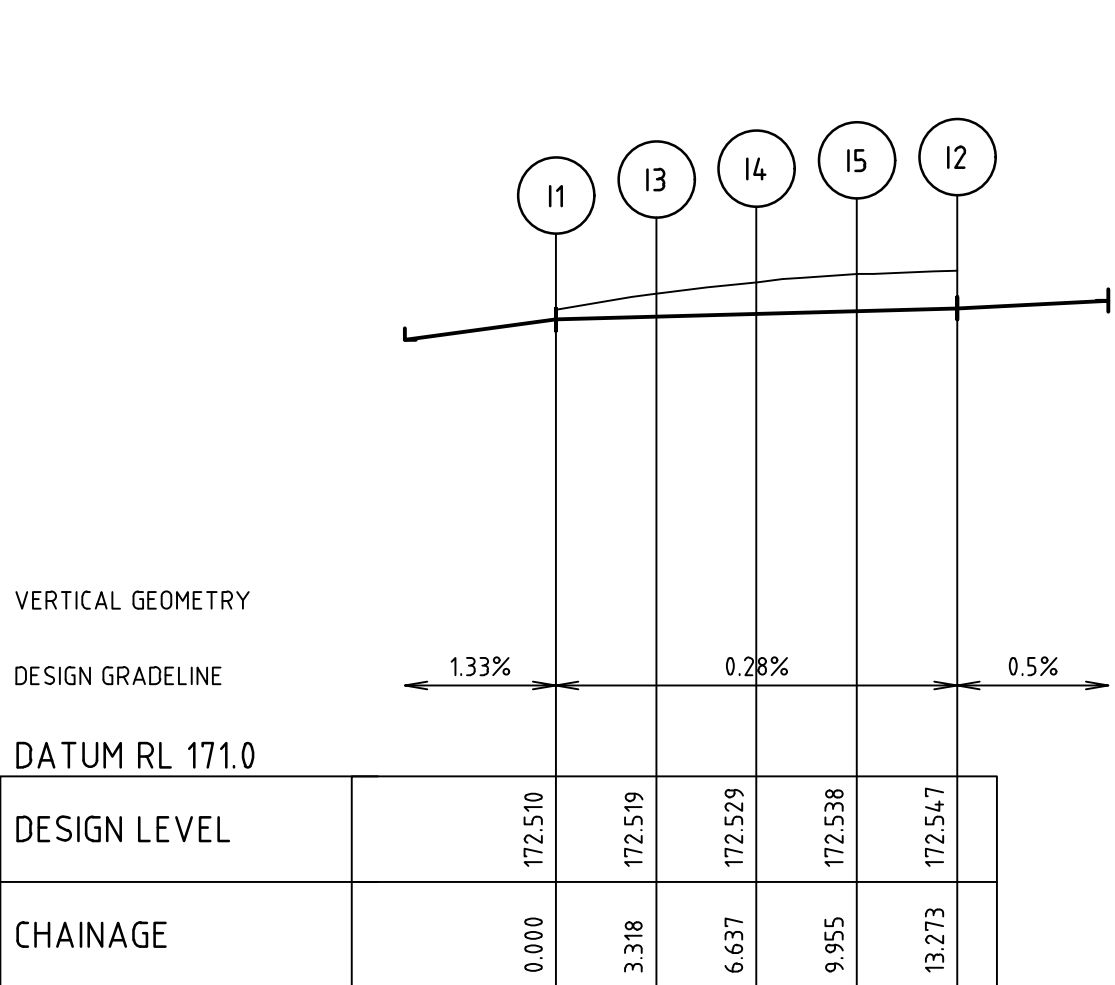
POINT NO	EASTING	NORTHING	RL
I1	264181.066	5939830.215	172.510
I2	264171.863	5939822.593	172.547
I3	264177.535	5939829.795	172.520
I4	264174.886	5939828.310	172.529
I5	264172.933	5939825.984	172.537

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
I1-I2	8.450	13.273	11.950	2.475	1.929

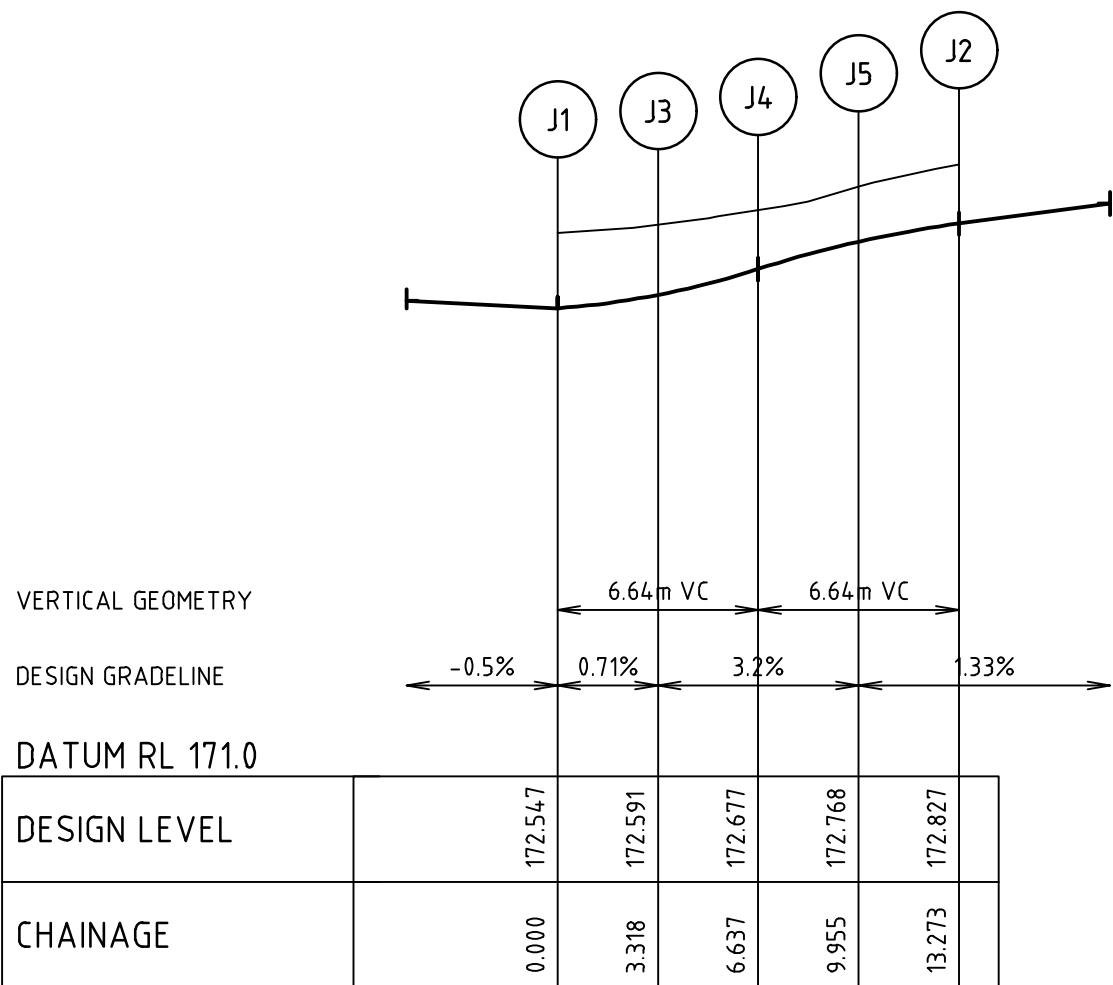
ALIGNMENT J - LIP OF KERB

POINT NO	EASTING	NORTHING	RL
J1	264164.993	5939823.238	172.547
J2	264157.371	5939832.441	172.827
J3	264164.573	5939826.769	172.597
J4	264163.088	5939829.418	172.677
J5	264160.762	5939831.371	172.761

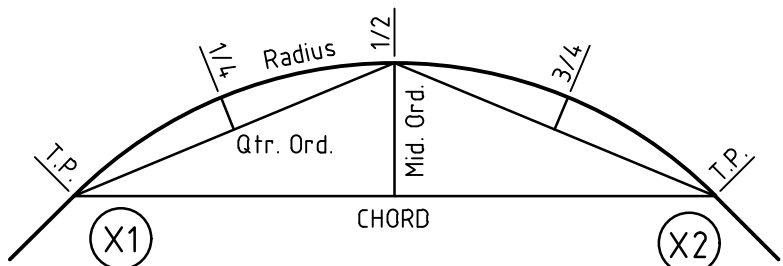
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
J1-J2	8.450	13.273	11.950	2.475	1.929



ALIGNMENT I



ALIGNMENT J



KERB RETURN SETOUT DETAIL

file name: 309100CR502.dwg, layout name: CR502, plotted by: Harry Oakley-Warren, file location: G:\309100\309100.dwg, plot date: 27/05/2022 9:22 AM, Sheet 20 of 29 Sheets

Rev	Amendments	Approved	Date
A	PRELIMINARY ISSUE	B. I.	MAY 2022

Scale

DETAIL PLAN

H 1:250
SCALE @ A1

LIP PROFILE

H 1:250
SCALE @ A1
V 1:25

© Spiire Australia Pty Ltd All Rights Reserved

This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed
G.MCCOOMB

Authorised
C.CLARKE

Checked
B.IBBS

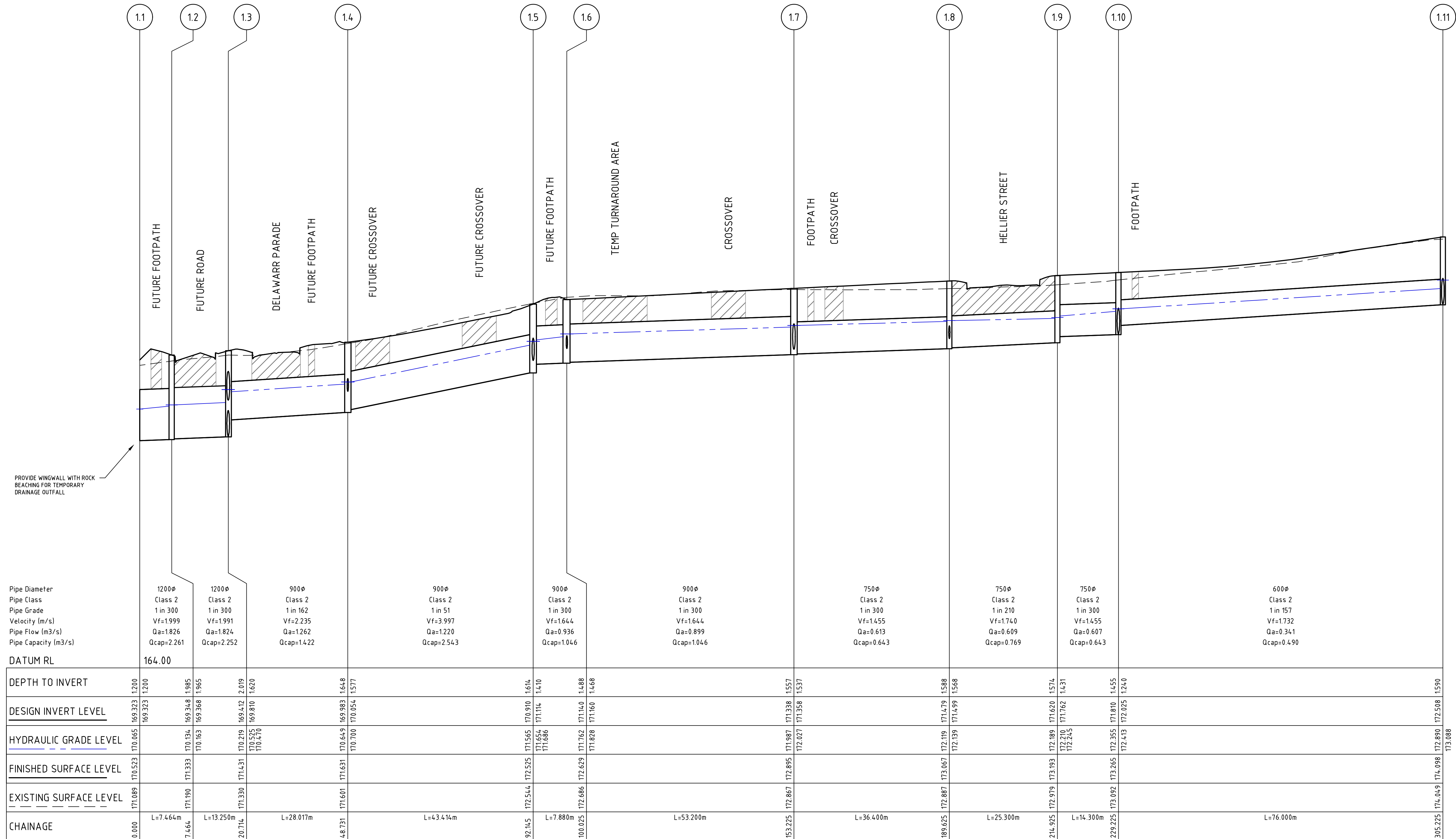
Date
MAY 2022

**PROVENANCE ESTATE
STAGE 7**

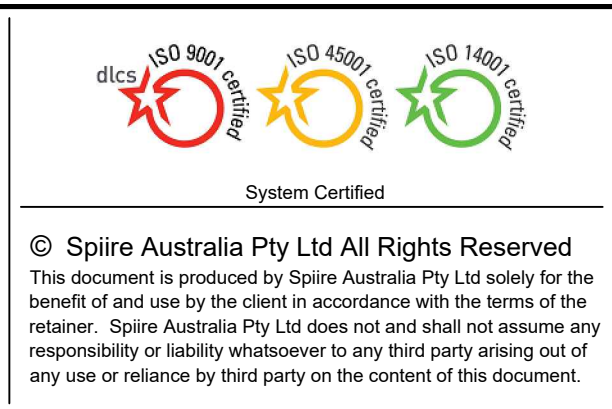
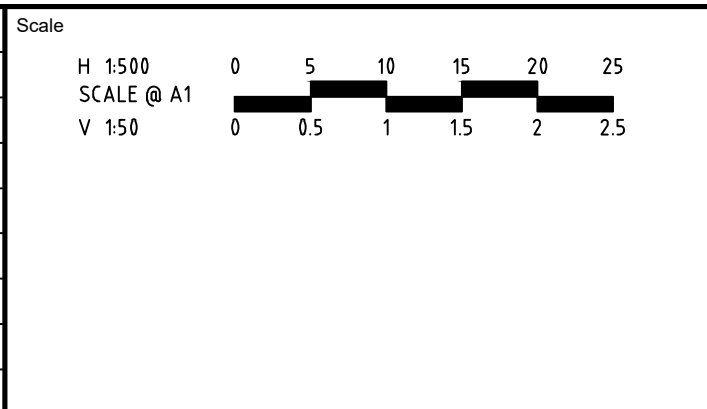
- SHEET 3
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

Dwg No
309100CR502

Rev
A



A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev	Amendments	Approved	Date



Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

**PROVENANCE ESTATE
STAGE 7**

ROAD AND DRAINAGE

DRAINAGE LONG SECTIONS - SHEET 1

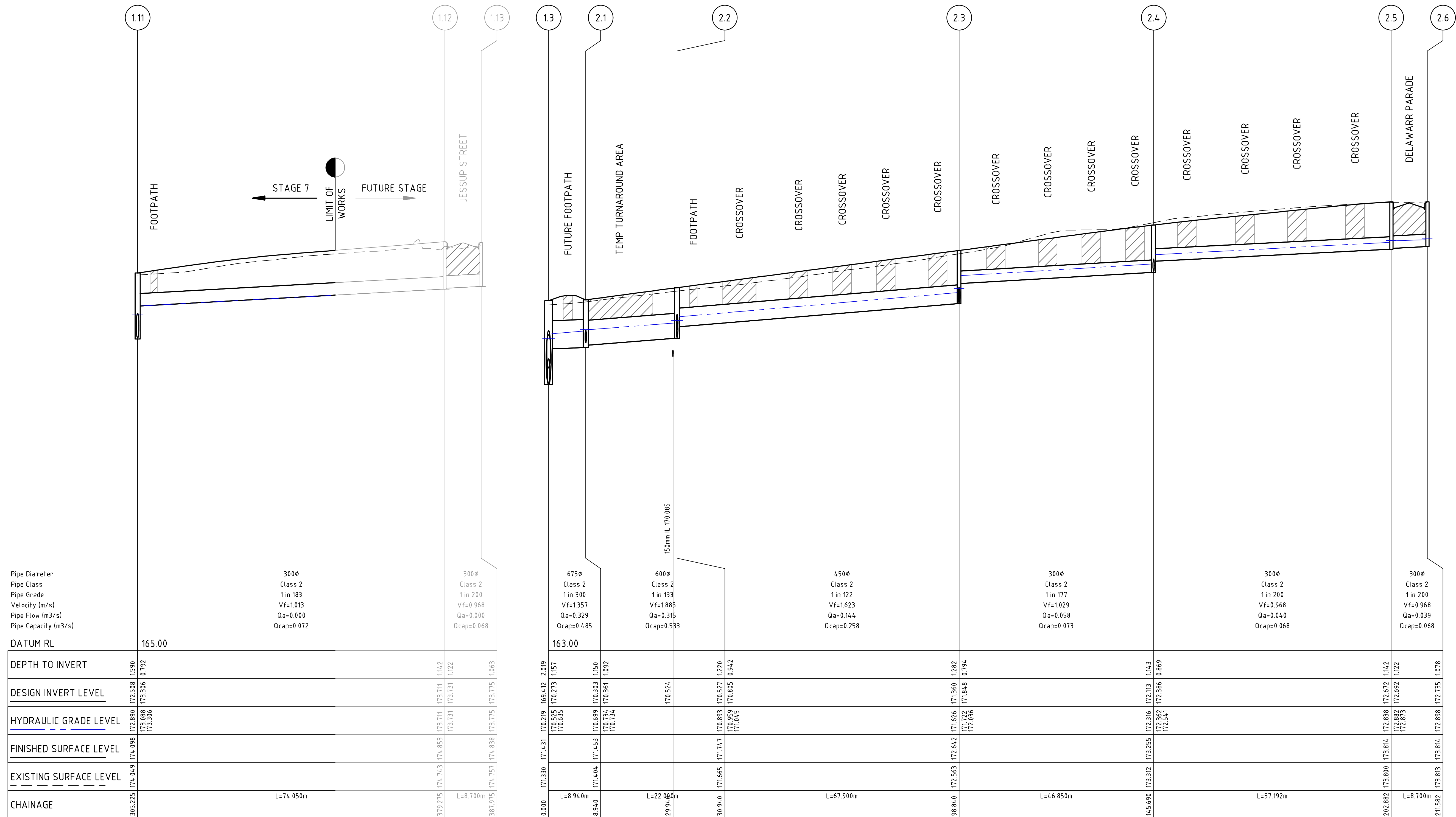
CITY OF GREATER BENDIGO

HUNTLY PROPERTY HOLDINGS PTY LTD

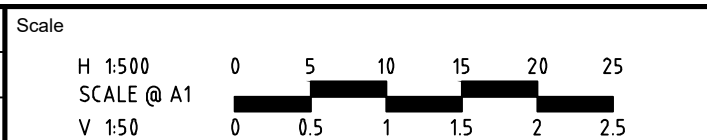
DRAFT

Orig No 309100CR600 Rev A

File name 309100CR600.dwg layout name CR600 plotted by Harry Oakley-Warren
File location G:\30\309100\Civil\ACAD plot date 27/05/2022 9:22 AM Sheet 21 of 29 Sheets



A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev	Amendments	Approved	Date



Designed	Checked
G.MCCOOMB	B.IBBS
Authorised	Date
C.CLARKE	MAY 2022

**PROVENANCE ESTATE
STAGE 7**

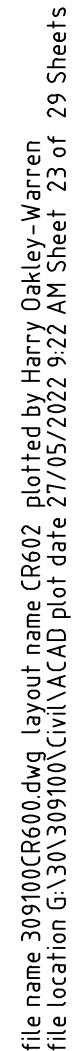
- SHEET 2

CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Orig No **309100CR601**

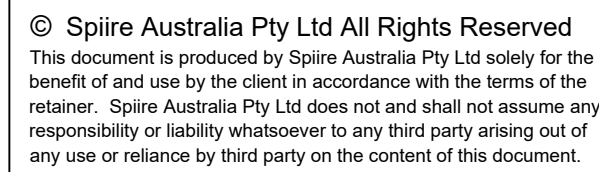
Rev **A**



Scale

H 1500
SCALE @ A1
V 150

0 0.5 1 1.5 2 2.5



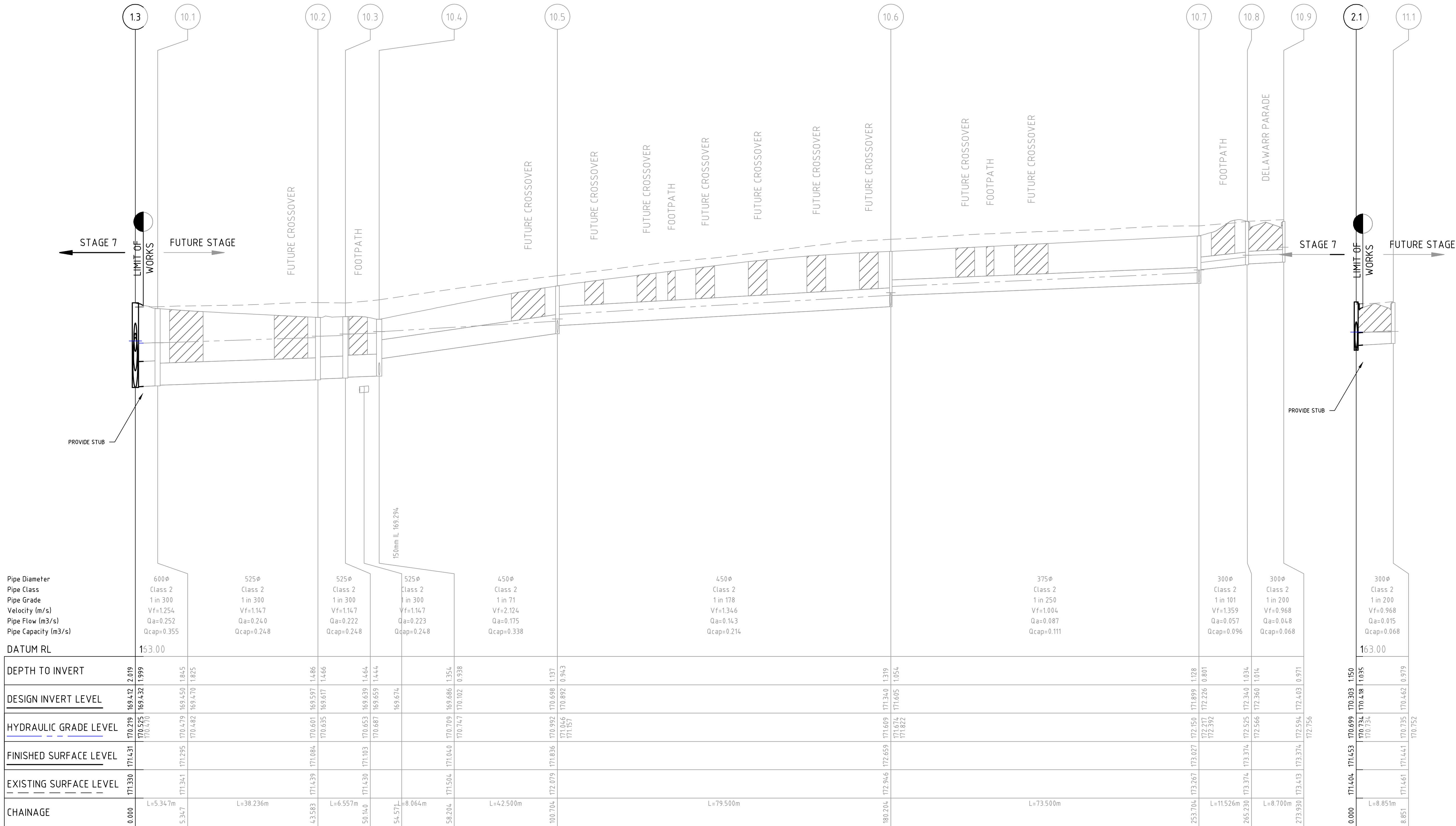
**PROVENANCE ESTATE
STAGE 7**

- SHEET 3

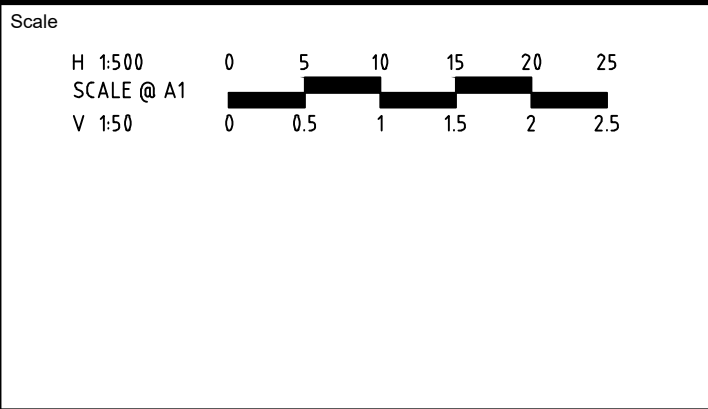
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT Drg No 309100CR602 Rev A

file name: 309100CR603.dwg, layout name: CR603, plotted by: Harry Oakley-Warren
file location: G:\309100\309100.dwg, plot date: 27/05/2022 9:27 AM, Sheet 24 of 29 Sheets



Rev	A	PRELIMINARY ISSUE	B. I.	MAY 2022
Rev		Amendments	Approved	Date



16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed G.MCCOOMB	Checked B.IBBS
Authorised C.CLARKE	Date MAY 2022

**PROVENANCE ESTATE
STAGE 7**

- SHEET 4
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Drw No
309100CR603

Rev
A



Scale

H 1500
SCALE @ A1
V 150

0 0.5 1 1.5 2 2.5



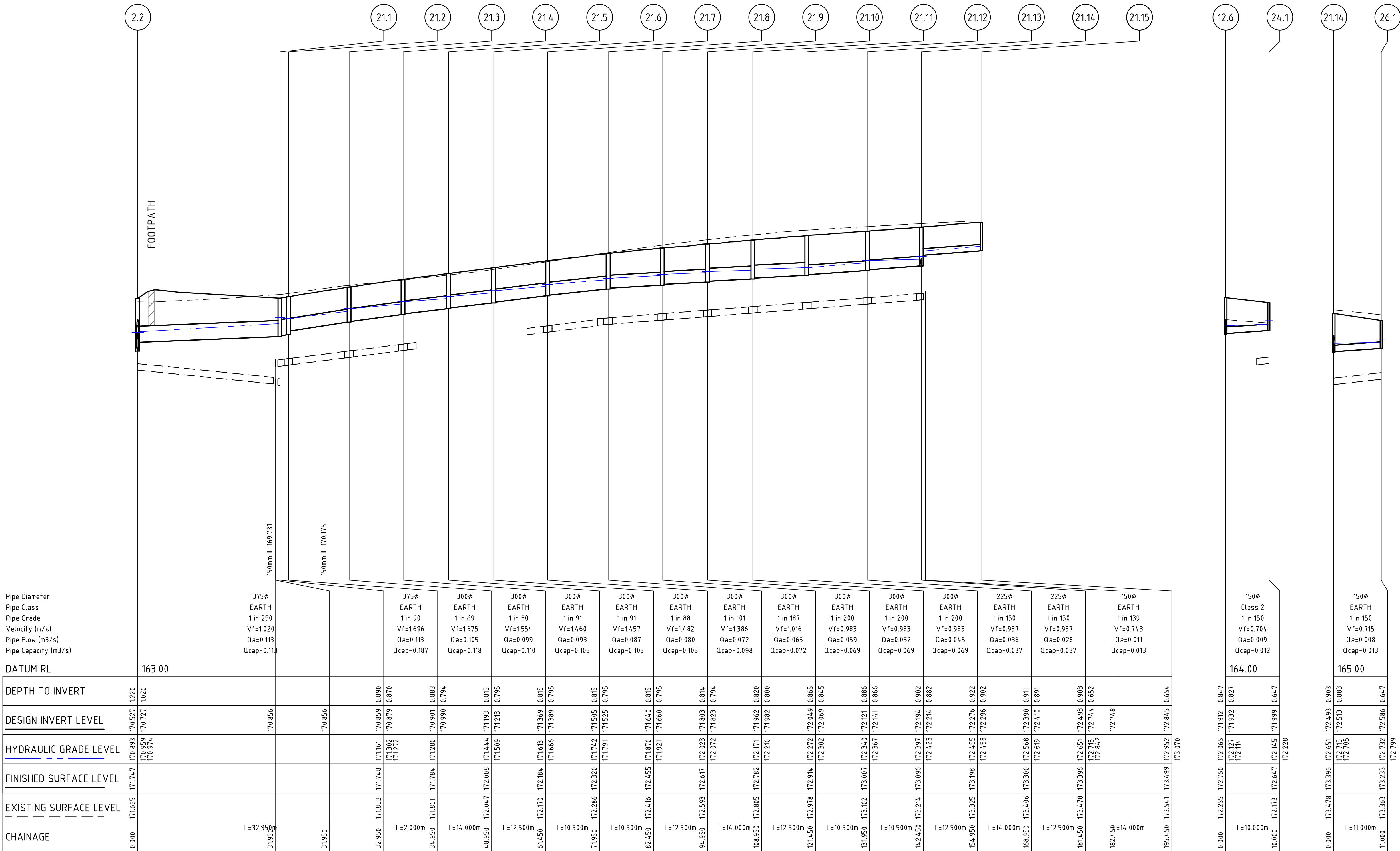
**PROVENANCE ESTATE
STAGE 7**

- SHEET 5

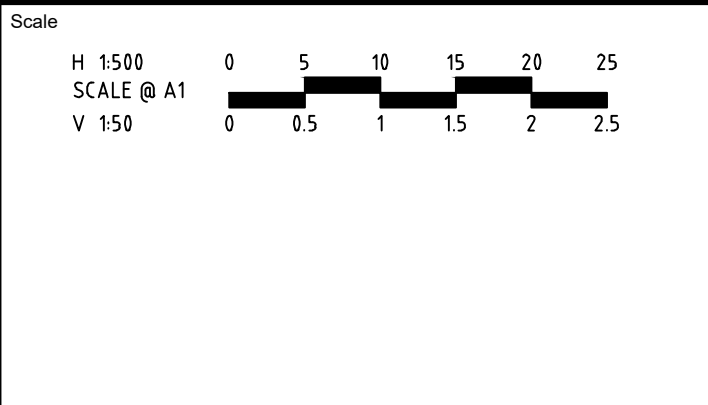
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

Orig No	Rev
DRAFT	309100CR604
	A

file name: 309100CR605.dwg, layout name: C605, plotted by: Harry Oakley-Warren
file location: \\spire\honda\3\Draws\309100\309100.dwg, plot date: 27/05/2022 9:22 AM, Sheet 26 of 29 Sheets



Rev	A	PRELIMINARY ISSUE	B. I.	MAR 2022
Rev		Amendments	Approved	Date



Designed	Checked
-----	-----
Authorised	Date

PROVENANCE ESTATE
STAGE 7
ROAD AND DRAINAGE
DRAINAGE LONG SECTIONS - SHEET 6
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Drg No
309100CR605

Rev
A

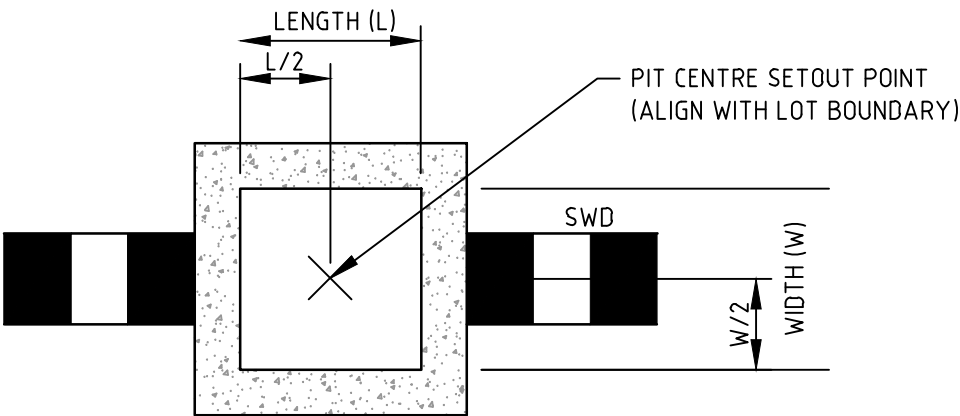
file name: 309100CR606.dwg, layout: name: C606, plotted by: Harry Oakley-Warren
file location: G:\30-309100\309100.dwg, plot date: 27/05/2022 9:22 AM, Sheet 27 of 29 Sheets

DRAINAGE PIT SCHEDULE

PIT		COORDINATES		INTERNAL		INLET		OUTLET		PIT		REMARKS
NAME	TYPE	EASTING	NORTHING	WIDTH	LENGTH	DIA	INV LEVEL	DIA	INV LEVEL	FS LEVEL	DEPTH	
1.1	OUTFALL	264298.993	5939833.911	0	0	1200	169.323			170.523	1.200	
1.2	SIDE ENTRY PIT	264291.562	5939834.609	1500	1200	1200	169.368	1200	169.348	171.333	1.985	
1.3	JUNCTION PIT	264278.370	5939835.848	1200	1500	900	169.810	1200	169.412	171.431	2.019	
						675	170.273					
						600	169.432					
1.4	SIDE ENTRY PIT	264275.600	5939807.969	1200	1500	900	170.054	900	169.983	171.631	1.648	
						300	170.480					
1.5	JUNCTION PIT	264271.539	5939764.745	1200	1500	900	171.114	900	170.910	172.525	1.614	
						525	171.203					
1.6	SIDE ENTRY PIT	264265.221	5939760.036	1200	1500	900	171.160	900	171.140	172.629	1.488	
						300	171.483					
1.7	SIDE ENTRY PIT	264212.255	5939765.012	1200	1500	750	171.358	900	171.338	172.895	1.557	
						600	171.465					
1.8	SIDE ENTRY PIT	264176.000	5939768.267	900	1200	750	171.499	750	171.479	173.067	1.588	
						300	171.716					
1.9	SIDE ENTRY PIT	264150.811	5939770.634	900	1200	750	171.762	750	171.620	173.193	1.574	
1.10	SIDE ENTRY PIT	264136.574	5939771.971	900	1200	600	172.025	750	171.810	173.265	1.455	
						600	171.830					
1.11	SIDE ENTRY PIT	264060.907	5939779.080	900	1200	300	173.306	600	172.508	174.098	1.590	
						600	172.528					
2.1	SIDE ENTRY PIT	264271.913	5939829.666	900	1200	600	170.361	675	170.303	171.453	1.150	
						300	170.418					
2.2	SIDE ENTRY PIT	264250.010	5939831.723	900	1200	450	170.805	600	170.527	171.747	1.220	
						375	170.547					
						375	170.727					
2.3	SIDE ENTRY PIT	264182.393	5939837.925	600	900	300	171.848	450	171.360	172.642	1.282	
						375	171.380					
2.4	SIDE ENTRY PIT	264135.749	5939842.307	600	900	300	172.386	300	172.113	173.255	1.143	
						300	172.133					
2.5	SIDE ENTRY PIT	264078.807	5939847.656	600	900	300	172.692	300	172.672	173.814	1.142	
2.6	SIDE ENTRY PIT	264077.994	5939838.994	600	900	225	172.978	300	172.735	173.814	1.078	
4.1	SIDE ENTRY PIT	264269.207	5939738.311	900	1200	525	171.961	525	171.586	172.947	1.362	
						300	171.804					
4.2	ENDPIPE	264267.713	5939724.548	0	0			525	172.031	173.234	1.203	
5.1	SIDE ENTRY PIT	264264.678	5939751.048	600	900			300	171.528	172.600	1.072	
6.1	SIDE ENTRY PIT	264211.399	5939755.902	900	1200	600	171.522	600	171.495	172.875	1.380	
6.2	SIDE ENTRY PIT	264202.522	5939748.550	1200	900	600	171.580	600	171.560	173.091	1.531	
6.3	SIDE ENTRY PIT	264193.561	5939749.392	900	1200	450	171.630	600	171.610	173.091	1.481	
						300	172.045					
6.4	ENDPIPE	264192.046	5939731.656	0	0			450	171.989	173.591	1.602	
7.1	SIDE ENTRY PIT	264168.485	5939777.009	900	600	300	171.794	300	171.774	172.908	1.134	
7.2	SIDE ENTRY PIT	264159.823	5939777.822	900	600			300	171.837	172.901	1.063	
8.1	SIDE ENTRY PIT	264135.732	5939763.011	900	1200	525	171.880	600	171.860	173.255	1.395	
8.2	SIDE ENTRY PIT	264126.855	5939755.659	1200	900	525	171.938	525	171.918	173.262	1.344	
8.3	SIDE ENTRY PIT	264117.895	5939756.501	900	1200	450	172.088	525	171.968	173.262	1.294	
						300	172.469					
8.4	ENDPIPE	264116.379	5939738.764	0	0			450	172.268	173.538	1.270	
9.1	SIDE ENTRY PIT	264060.065	5939770.119	900	1200	600	172.578	600	172.558	174.088	1.530	
9.2	SIDE ENTRY PIT	264051.188	5939762.767	1200	900	600	172.636	600	172.616	174.172	1.555	
9.3	SIDE ENTRY PIT	264042.228	5939763.609	900	1200	525	172.686	600	172.666	174.172	1.505	
						300	173.389					
9.4	ENDPIPE	264040.712	5939745.873	0	0			525	172.776	174.297	1.521	
12.1	SIDE ENTRY PIT	264249.182	5939822.912	600	900	300	170.964	375	170.582	171.737	1.154	
12.2	JUNCTION PIT	264246.451	5939793.840	900	600	300	171.538	300	171.518	172.341	0.823	
12.3	GRATED JUNCTION PIT	264244.459	5939794.027	600	900	300	171.568	300	171.548	172.366	0.818	
12.4	GRATED JUNCTION PIT	264229.525	5939795.430	600	900	225	171.716	300	171.696	172.505	0.809	
12.5	GRATED JUNCTION PIT	264217.080	5939796.599	600	900	225	171.819	225	171.799	172.631	0.832	
12.6	GRATED JUNCTION PIT	264203.141	5939797.908	900	600	225	172.038	225	171.912	172.760	0.847	
						150	171.932					
12.7	GRATED JUNCTION PIT	264202.908	5939795.420	450	450	150	172.141	225	172.061	172.788	0.728	
12.8	GRATED JUNCTION PIT	264201.738	5939782.974	450	450			150	172.277	172.930	0.653	
13.1	SIDE ENTRY PIT	264181.580	5939829.263	600	900	375	171.435	375	171.415	172.642	1.227	
13.2	SIDE ENTRY PIT	264172.703	5939821.911	900	600	375	171.501	375	171.481	172.683	1.202	
13.3	SIDE ENTRY PIT	264164.041	5939822.725	900	600	300	171.876	375	171.536	172.675	1.139	
13.4	SIDE ENTRY PIT	264156.689	5939831.601	600	900			300	172.187	172.975	0.788	
14.1	SIDE ENTRY PIT	264134.935	5939833.645	600	900			300	172.176	173.255	1.079	
16.1	SIDE ENTRY PIT	264186.373	5939758.404	900	600			300	172.103	172.993	0.890	
17.1	SIDE ENTRY PIT	264110.706	5939765.513	600	900			300	172.602	173.388	0.786	
18.1	SIDE ENTRY PIT	264035.039	5939772.621	600	900			300	173.630	174.422	0.793	
21.1	JUNCTION PIT	264253.092	5939864.529	900	600	375	170.879	375	170.859	171.748	0.890	
21.2	GRATED JUNCTION PIT	264251.100	5939864.716	600	900	300	170.990	375	170.901	171.784	0.883	
21.3	GRATED JUNCTION PIT	264237.162	5939866.025	600	900	300	171.213	300	171.193	172.008	0.815	
21.4	GRATED JUNCTION PIT	264224.716	5939867.194	600	900	300	171.389	300	171.369	172.184	0.815	
21.5	GRATED JUNCTION PIT	264214.262	5939868.177	600	900	300	171.525	300	171.505	172.320	0.815	
21.6	GRATED JUNCTION PIT	264203.809	5939869.159	600	900	300	171.660	300	171.640	172.455	0.815	
21.7	GRATED JUNCTION PIT	264191.363	5939870.328	600	900	300	171.823	300	171.803	172.617	0.814	
21.8	GRATED JUNCTION PIT	264177.425	5939871.637	600	900	300	171.982	300	171.962	172.782	0.820	
21.9	GRATED JUNCTION PIT	264164.979	5939872.806	600	900	300	172.069	300	172.049	172.914	0.865	
21.10	GRATED JUNCTION PIT	264154.526	5939873.789	600	900	300	172.141	300	172.121	173.007	0.886	
21.11	GRATED JUNCTION PIT	264144.072	5939874.771	600	900	300	172.214	300	172.194	173.096	0.902	
21.12	GRATED JUNCTION PIT	264131.626	5939875.940	600	900	225	172.296	300	172.276	173.198	0.922	
21.13	GRATED JUNCTION PIT	264117.688	5939877.249	600	900	225	172.410	225	172.390	173.300	0.911	
21.14	GRATED JUNCTION PIT	264105.243	5939878.418	600	900	150	172.744	225	172.493	173.396	0.903	
						150	172.513					
21.15	GRATED JUNCTION PIT	264091.304	5939879.728	450	450			150	172.845	173.499	0.654	
24.1	GRATED JUNCTION PIT	264204.077	5939807.865	450	450			150	171.999	172.647	0.647	
26.1	GRATED JUNCTION PIT	264106.271	5939889.370	450	450			150	172.586	173.233	0.647	

DRAINAGE NOTES

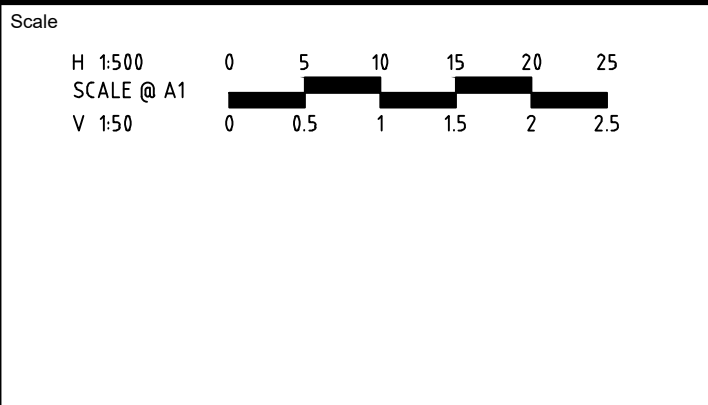
- ALL DRAINAGE PIPES & PITS ARE TO BE AT 1m OFFSET TO PROPERTY BOUNDARIES UNLESS SHOWN OTHERWISE
- THE CONTRACTOR MUST CONTACT SERVICING AUTHORITIES TO ARRANGE SERVICE LOCATIONS PRIOR TO COMMENCEMENT OF EXCAVATION FOR THIS PROJECT
- PITS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE MUNICIPALITY. STEEL GRATES ARE TO BE HOT DIP GALVANISED AFTER MANUFACTURE. THE TOP OF ALL GRATES MUST BE APPROXIMATELY 150mm BELOW THE SURROUNDING SURFACE LEVEL. PROPERTY DRAINAGE CONNECTIONS ARE TO BE PROVIDED AS NECESSARY.
- ALL SIDE ENTRY PITS IN ROLLOVER KERB & CHANNEL ARE TO BE CONSTRUCTED USING AN APPROVED ROLLOVER TYPE LINTEL OR A REINFORCED ROLLOVER PROFILE PIT LID. STANDARD SQUARE PROFILE PIT LIDS WITHOUT LINTEL ARE NOT ACCEPTABLE.
- TRENCHES WITHIN PAVEMENT OR FOOTPATH AREAS ARE TO BE BACKFILLED WITH 3% CEMENT STABILISED CLASS 1 FCR. THE TRENCH IS TO BE BACKFILLED IN 150MM LAYERS AND CONSOLIDATED.
- ALL PIPE STUBS ARE TO CONSIST OF ONE FULL PIPE LENGTH UNLESS SHOWN OTHERWISE.
- FINISHED LEVELS FOR SIDE ENTRY PITS MUST BE DETERMINED FROM KERB LEVELS AND SHOULD BE SLOPED TO SUIT NATURESTRIPS ETC. THE FSLs INDICATED IN THE PIT SCHEDULE ARE NOT KERB LEVELS.
- STEP IRONS ARE NOT REQUIRED IN DRAINAGE PITS.
- CONCRETE PIPES ARE TO BE CLASS 2 FJ RCP AND PVC PIPES ARE TO BE CLASS SN8 UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS FOR DRAINAGE WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE VICTORIAN WORK COVER AUTHORITY.
- REINFORCEMENT BARS SHALL COMPLY WITH AS4671, GRADE 400Y. LAPS IN REINFORCEMENT BARS SHALL BE 300 MIN. AND CLEAR COVER 50 MIN.
- CONCRETE SHALL BE NORMAL CLASS N32 STANDARD STRENGTH GRADE OR HIGHER, COMPLYING WITH THE REQUIREMENTS OF AS1379.
- ENDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF AS3600.
- DIRECT CONNECTION OF PVC HOUSE DRAIN TO RCP DRAINAGE TO BE CONSTRUCTED WITH "CONCONNECT" OR APPROVED EQUIVALENT FITTING. 150mmØ PVC PIPES ARE NOT TO BE DIRECTLY CONNECTED TO CONCRETE PIPES LESS THAN 450mmØ IN DIAMETER. 100mmØ HOUSE CONNECTION PIPE TO BE USED FOR ALL LOTS IN STAGE.
- WHERE PVC HOUSE CONNECTIONS ARE MADE DIRECTLY TO PIPES, THE HOUSE CONNECTION IS TO BE RAISED TO SURFACE LEVEL WITHIN THE PROPERTY AND CAPPED AS PER SDS20.
- COMPACTION REQUIREMENTS - ANY BACKFILL WITHIN 1m OF A COUNCIL ASSET (EG FOOTPATH OR ROAD) IS REQUIRED TO BE FCR. ALTERNATIVELY OTHER FILL MATERIAL CAN BE USED PROVIDED COMPACTION TESTS ARE CARRIED OUT TO ENSURE 95% COMPACTION IS ACHIEVED. TESTS TO BE CARRIED OUT AT A MINIMUM OF 1 PER 60m OF TRENCH.



TYPICAL DRAINAGE PIT SETOUT POINT 'C'

JUNCTION PIT / EASEMENT PIT
NOT TO SCALE

A	PRELIMINARY ISSUE		B. I.	MAR 2022	
Rev	Amendments		Approved	Date	



System Certified

© Spiire Australia Pty Ltd All Rights Reserved

This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

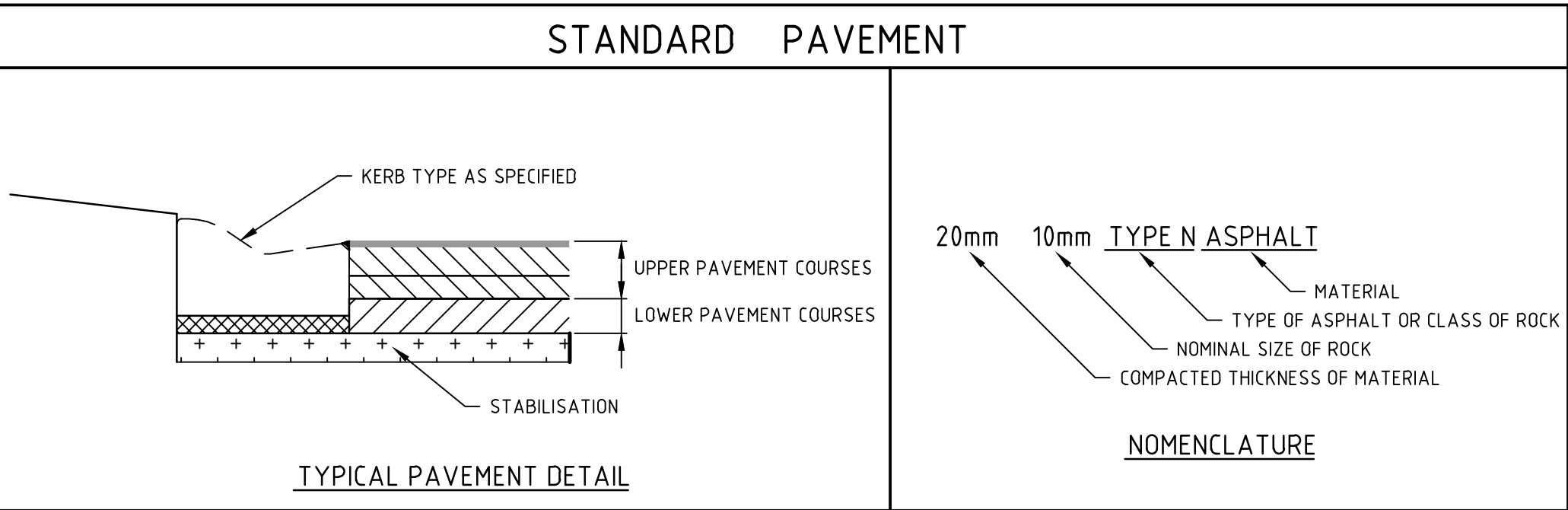
16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500

DESIGN PAVEMENT PROFILE

PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)	
		TYPE A*	TYPE B*
ASPHALT SEAL	SIZE 10 TYPE N WITH PRIME	30	40
BASE COURSE	20mm NOMINAL SIZE CLASS 1 OR 2 FCR, COMPACTED TO AT LEAST 98% MODIFIED MAXIMUM DRY DENSITY	110	150
	UNDER PAVEMENT TOTAL	140	190
SUBBASE	20mm OR 40mm NOMINAL SIZE CLASS 3 OR 4 FCR, MIN CBR 30 COMPACTED TO AT LEAST 98% MODIFIED MAXIMUM DRY DENSITY	120	180
STABILISED SUBGRADE	STABILISED WITH 3% LIME AND 1% CEMENT COMPACTED TO A MINIMUM DENSITY RATIO OF 98% STANDARD	200	200
	TOTAL PAVEMENT DEPTH	260	370

* REFER PAVEMENT PLAN FOR LOCATION OF PAVEMENT TYPES

ROAD NAME	TYPE
GREGSON STREET	A
HESTER SREET	A
JARVIS STREET	A
JESSUP STREET	A
HELLIER STREET	A
DELAWARE PARADE	A



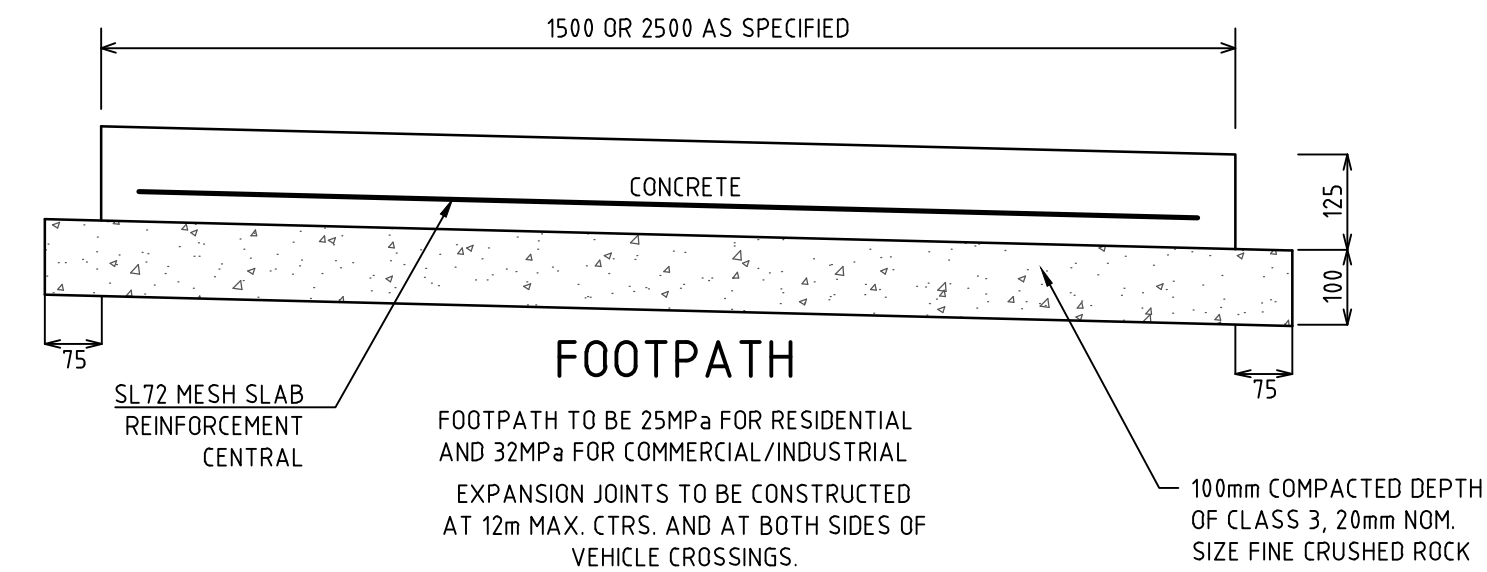
PAVEMENT DETAILS

THE PAVEMENT DESIGNS SHOWN HERE HAVE BEEN DESIGNED/PROVIDED BY GTS WHO ARE RESPONSIBLE FOR THE GEOTECHNICAL WORK ON THIS PROJECT. SPIIRE IS NOT RESPONSIBLE FOR THE WORK OF GTS.

THE DESIGN HAS BEEN EXTRACTED FROM THE REPORT 18C 0664-1 "GEOTECHNICAL INVESTIGATION FOR HUNTLY EAST SUBDIVISION, HUNTLY". THIS DOCUMENT SHOULD BE REVIEWED TO ENSURE THAT THE DESIGN HAS BEEN ACCURATELY REPRODUCED.

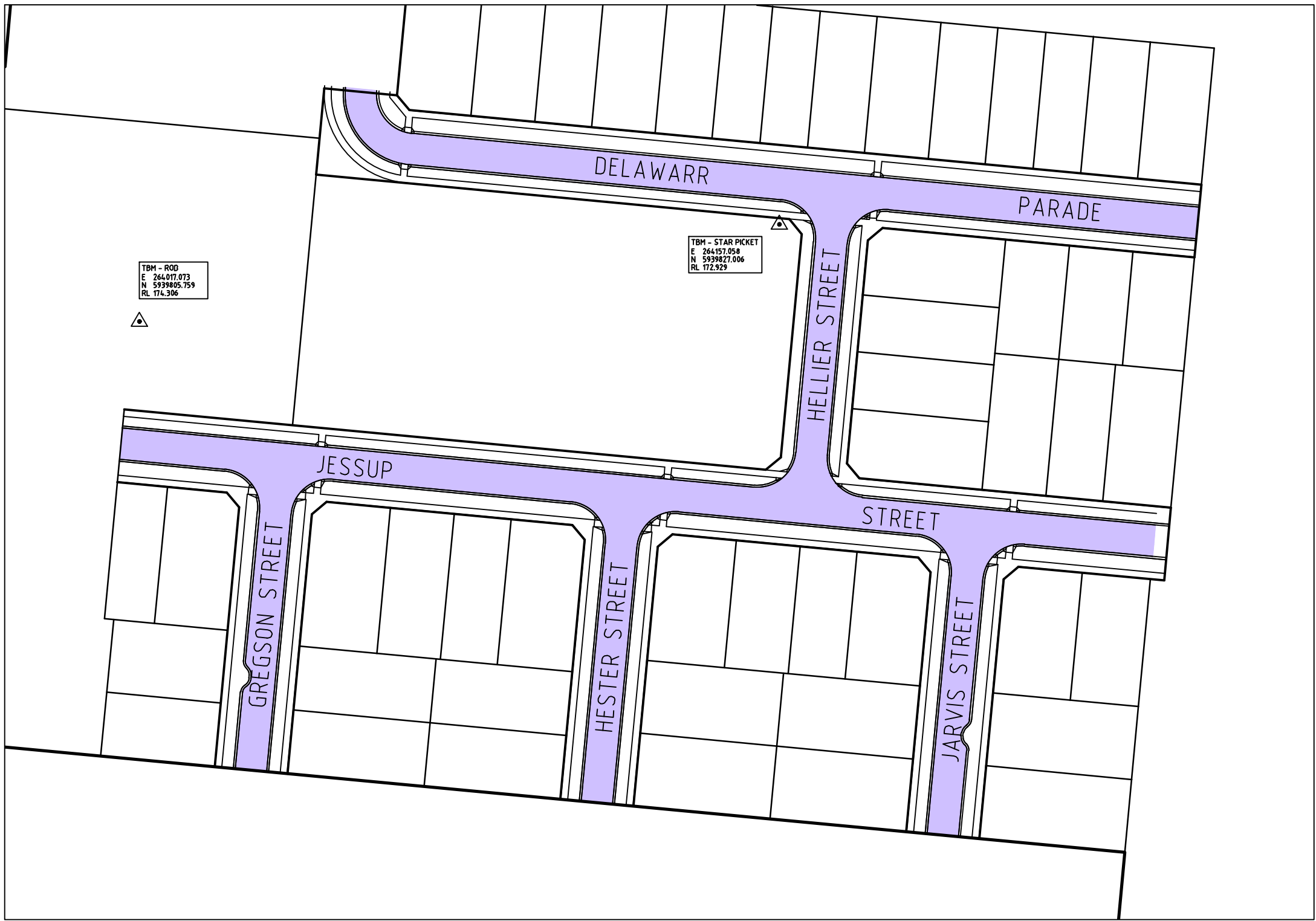
A COPY OF THE DOCUMENT WILL BE PROVIDED ON REQUEST.

SPIIRE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY, ADEQUACY OR APPROPRIATENESS OF THE GEOTECHNICAL WORK AND PAVEMENT DESIGNS. ANY QUERIES IN RESPECT TO THE GEOTECHNICAL WORK AND PAVEMENT DESIGNS SHOULD BE ADDRESSED TO GTS AND COPIED TO SPIIRE.



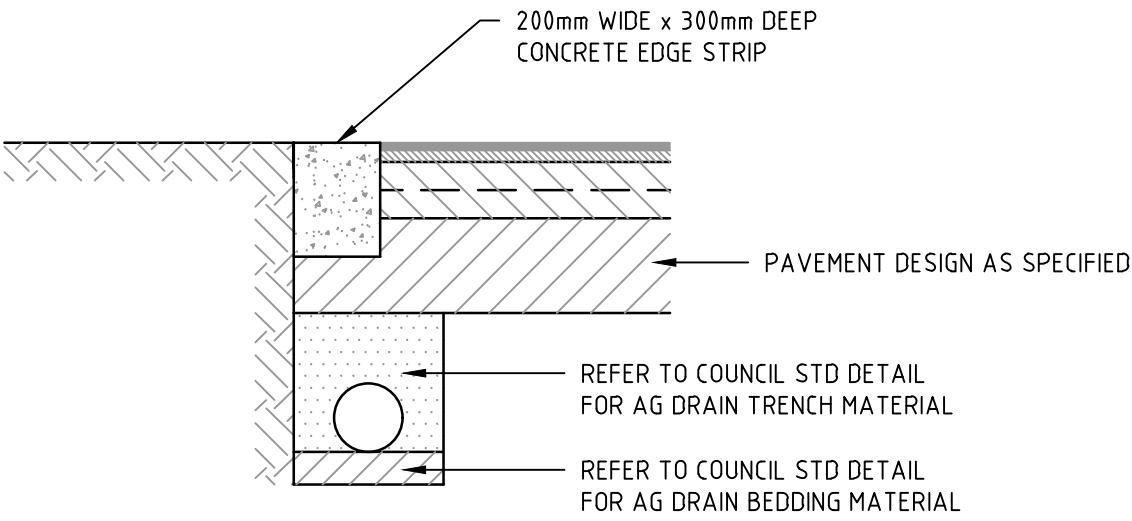
GENERAL NOTES:

- NATURE STRIPS ARE TO BE TOPSOILED WITH MATERIAL STOCKPILED FROM STRIPPING TO A DEPTH OF 100mm. IMPORTED TOPSOIL AND/OR SEEDING MAY BE REQUIRED TO PROVIDE GOOD GRASS COVER
- LOCATION OF ALL SERVICE CONDUITS IS TO BE MARKED ON THE FACE OF BOTH KERBS WITH A UNIFORM 50mm DIAMETER MARK, 5mm DEEP. WATER & GAS CONDUITS TO BE 50mm DIAMETER CLASS 12uPVC PIPE. POWER & TELSTRA CONDUIT ARE AS SPECIFIED ON THE POWER PLAN.

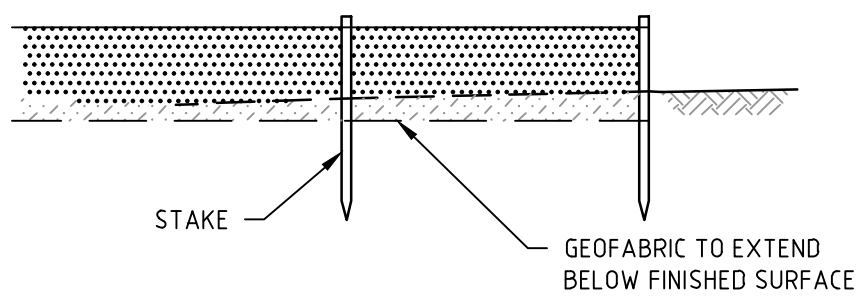


PAVEMENT PLAN

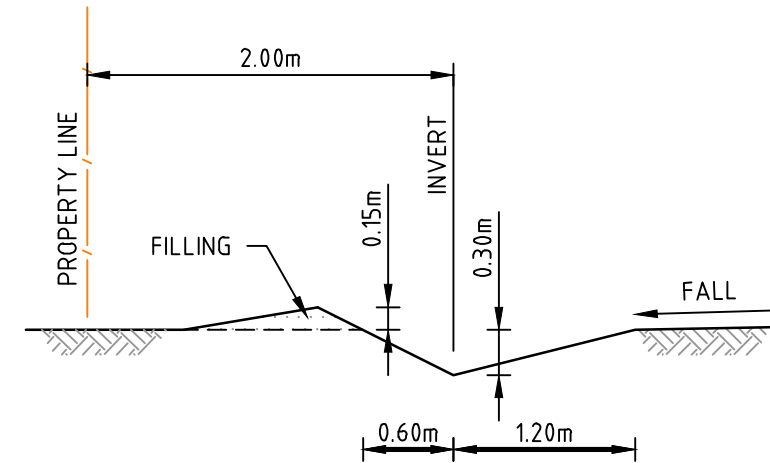
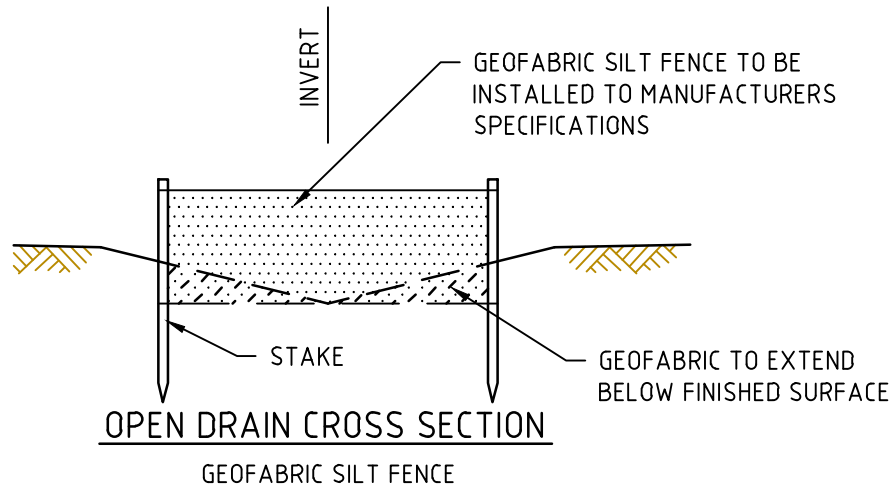
H 1:1000
SCALE @ A1



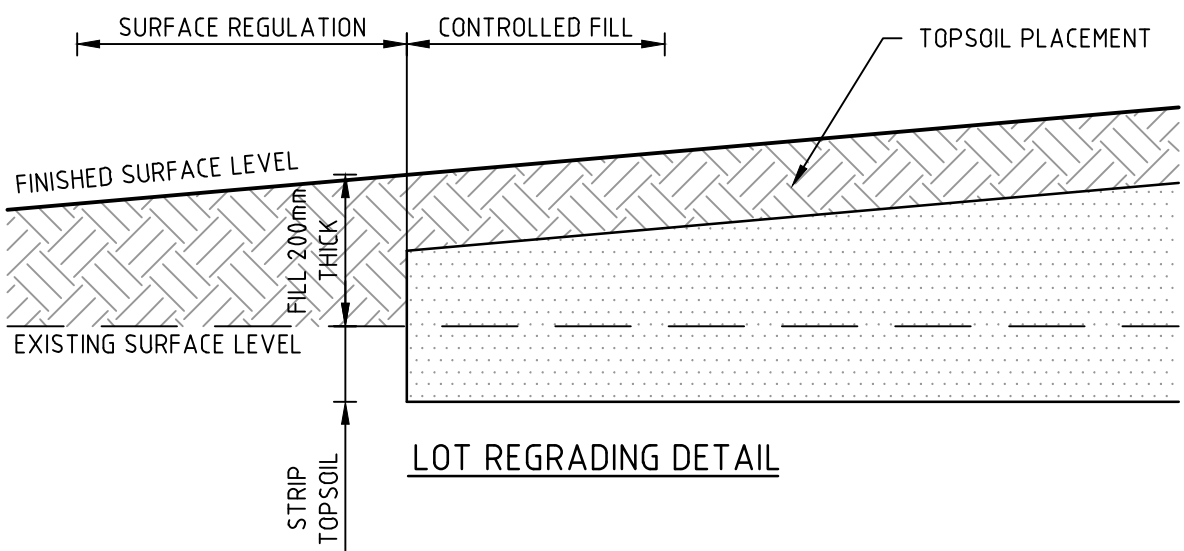
LIMIT OF WORKS CONCRETE EDGE STRIP & PAVEMENT INTERFACE DETAIL



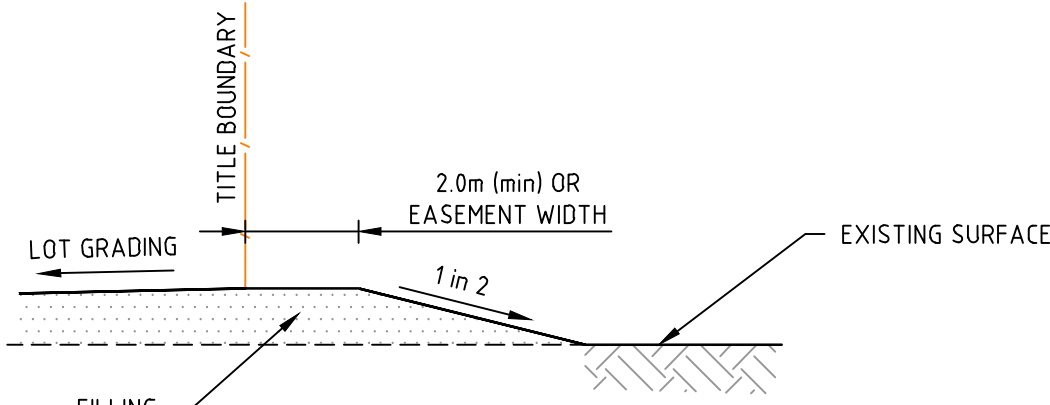
SILT CONTROL FOR LOTS
GEOFABRIC SILT FENCE



TYPICAL CATCH DRAIN SECTION



LOT REGRADING DETAIL



LOT FILLING AT STAGE BOUNDARY

Scale



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed
G.MCCOOMB
Authorised
C.CLARKE

Checked
B.IBBS
Date
MAY 2022

**PROVENANCE ESTATE
STAGE 7
ROAD AND DRAINAGE
PAVEMENT AND TYPICAL DETAILS - SHEET 1**
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Drg No
309100CR700

Rev
A



SHERWOOD ROAD

S2 & S3

FUTURE
PROVENANCE
ESTATE

701

702

703

704

705

706

707

708

709

710

711

712

713

714

DELAWARR

S1

PARADE

A

RESERVE NO 1

S2 & S3

718

717

716

715

719

720

721

722

723

724

S2 & S3

748

747

746

745

GREGSON STREET

742

741

740

739

743

738

744

737

S1

HESTER STREET

734

733

732

731

735

730

736

729

STREET
S1

JARVIS STREET

726

725

727

728

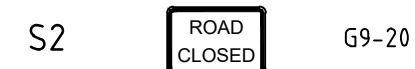
S2 & S3

EXISTING
PROVENANCE
ESTATE

LEGEND



CoGB STREET NAME PLATES INCLUDING
"NO THROUGH ROAD" NOMINATION
WHERE APPLICABLE

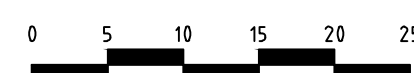


NOTES:

1. STREET SIGNS ARE TO BE MOUNTED ON SEPARATE POLES, WITH A COUNCIL
APPROVED BRACKET.

Scale

H 1500
SCALE @ A1



System Certified

© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the
benefit of and use by the client in accordance with the terms of the
retainer. Spiire Australia Pty Ltd does not and shall not assume any
responsibility or liability whatsoever to any third party arising out of
any use or reliance by third party on the content of this document.

spiire

16 BRIDGE STREET BENDIGO
VICTORIA 3550 AUSTRALIA T 61 3 5448 2500
spiire.com.au ABN 55 050 029 635

Designed
G.MCCOOMB
Authorised
C.CLARKE

Checked
B.IBBS
Date
MAY 2022

**PROVENANCE ESTATE
STAGE 7
ROAD AND DRAINAGE
SIGNAGE AND LINEMARKING - SHEET 1**
CITY OF GREATER BENDIGO
HUNTLY PROPERTY HOLDINGS PTY LTD

DRAFT

Dwg No
309100CR800

Rev
A

file name: 309100CR800.dwg, layout name: CR800, plotted by: Harry Oakley-McKenzie, file location: G:\309100CR800\309100CR800.dwg, plot date: 27/05/2022 2:22 AM, Sheet 29 of 29 Sheets