PLAN OF SUBDIVISION **PS848608D** EDITION 1 Council Name: Greater Bendigo City Council LOCATION OF LAND SPEAR Reference Number: S193748A PARISH: BAGSHOT TOWNSHIP: SECTION: 12 CROWN ALLOTMENT: 3 (PART) **CROWN PORTION:** TITLE REFERENCE: C/T VOL 11891 FOL 022 VOL FOL ... LAST PLAN REFERENCE: LOT 3 ON PS730853W **LOT K ON PS845417C** POSTAL ADDRESS: KINGSLEY PROMENADE (at time of subdivision) **BAGSHOT 3551** MGA2020 CO-ORDINATES: E: 264 100 ZONE: 55 (of approx centre of land in plan) N: 5 939 630 **VESTING OF ROADS AND/OR RESERVES NOTATIONS IDENTIFIER** COUNCIL / BODY / PERSON Lots 1-608 (both inclusive) and Lots B-K (both inclusive) have been omitted from CITY OF GREATER BENDIGO ROAD R-1 this plan. **ROAD R-2** CITY OF GREATER BENDIGO Further purpose of plan: **ROAD R-3** CITY OF GREATER BENDIGO Removal of part of Easement shown E-5 on PS834199W where now contained in Kingsley Promenade. **NOTATIONS** Removal of part of Easement shown E-8 on PS845415G where now contained in Kingsley Promenade, Jarvis Street, Grimshaw Street. **DEPTH LIMITATION: DOES NOT APPLY** Removal of part of easement for sewerage purposes shown E-5 and E-6 on SURVEY: where now contained in lots 650 to 654 (both inclusive) and lot L. This plan is based on survey Grounds for Removal: STAGING: By consent of the relevant authority under the powers of Section 6(1)(k)(iii) Subdivision Act 1988 This is not a staged subdivision Planning Permit No. DS/672/2021 Removal of part of Easement for water supply with origin D900210 where now contained in lot L. This survey has been connected to permanent marks No(s). 6, 17 & 19 Grounds for Removal: Planning Permit DS/672/2021. In Proclaimed Survey Area No. **EASEMENT INFORMATION** LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road) Width Easement Origin Purpose Land Benefited / In Favour of (Metres) Reference E-1, E-2 & Carriageway See Diagram PS730853W Lots 6 & 7 on PS730853W E-14 Pipelines or Ancillary PS834199W - Sec 136 of the See Diagram E-2 & E-3 Coliban Region Water Corporation **Purposes** Water Act 1989 Pipelines or Ancillary PS839761V - Sec 136 of the Coliban Region Water Corporation E-4 & E-5 See Diagram **Purposes** Water Act 1989 Drainage See Diagram PS839761V City of Greater Bendigo See Diagram City of Greater Bendigo E-6 Carriageway PS839761V Pipelines or Ancillary E-7, E-8 & PS845415G - Sec 136 of the See Diagram Coliban Region Water Corporation **Purposes** Water Act 1989 E-10 See Diagram City of Greater Bendigo E-8 & E-9 Drainage PS845415G E-10, E-11, Drainage City of Greater Bendigo See Diagram This Plan E-12 & E-14 Pipelines or Ancillary E-11, E-13 & This Plan - Sec 136 of the Water Act See Diagram Coliban Region Water Corporation

PROVENANCE ESTATE - STAGE 6 (56 LOTS)

Purposes

AREA OF STAGE - 3.186ha



E-14

16 Bridge Street PO Box 1064 Bendigo Vic 3550 T 61 3 5448 2500 spiire.com.au

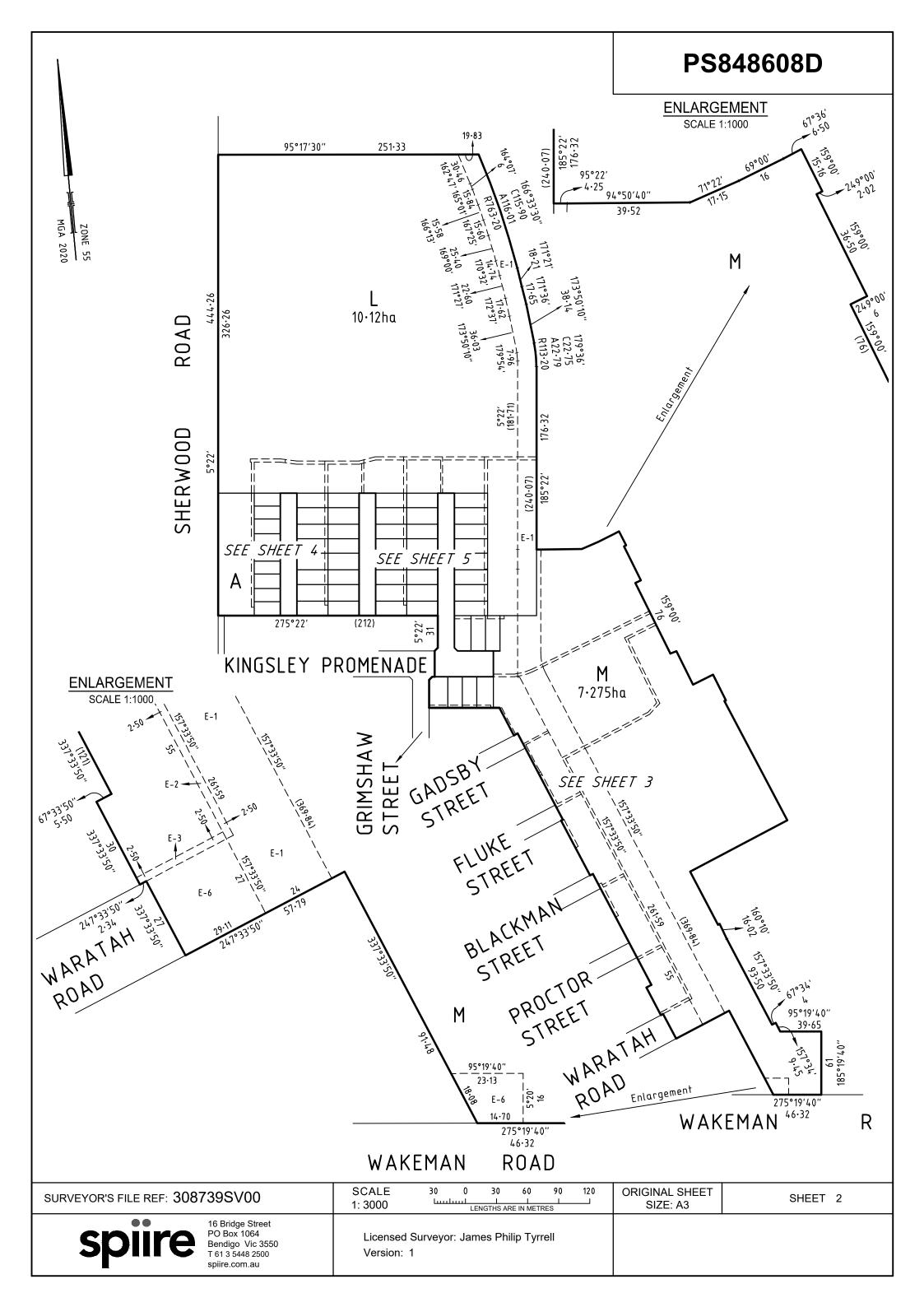
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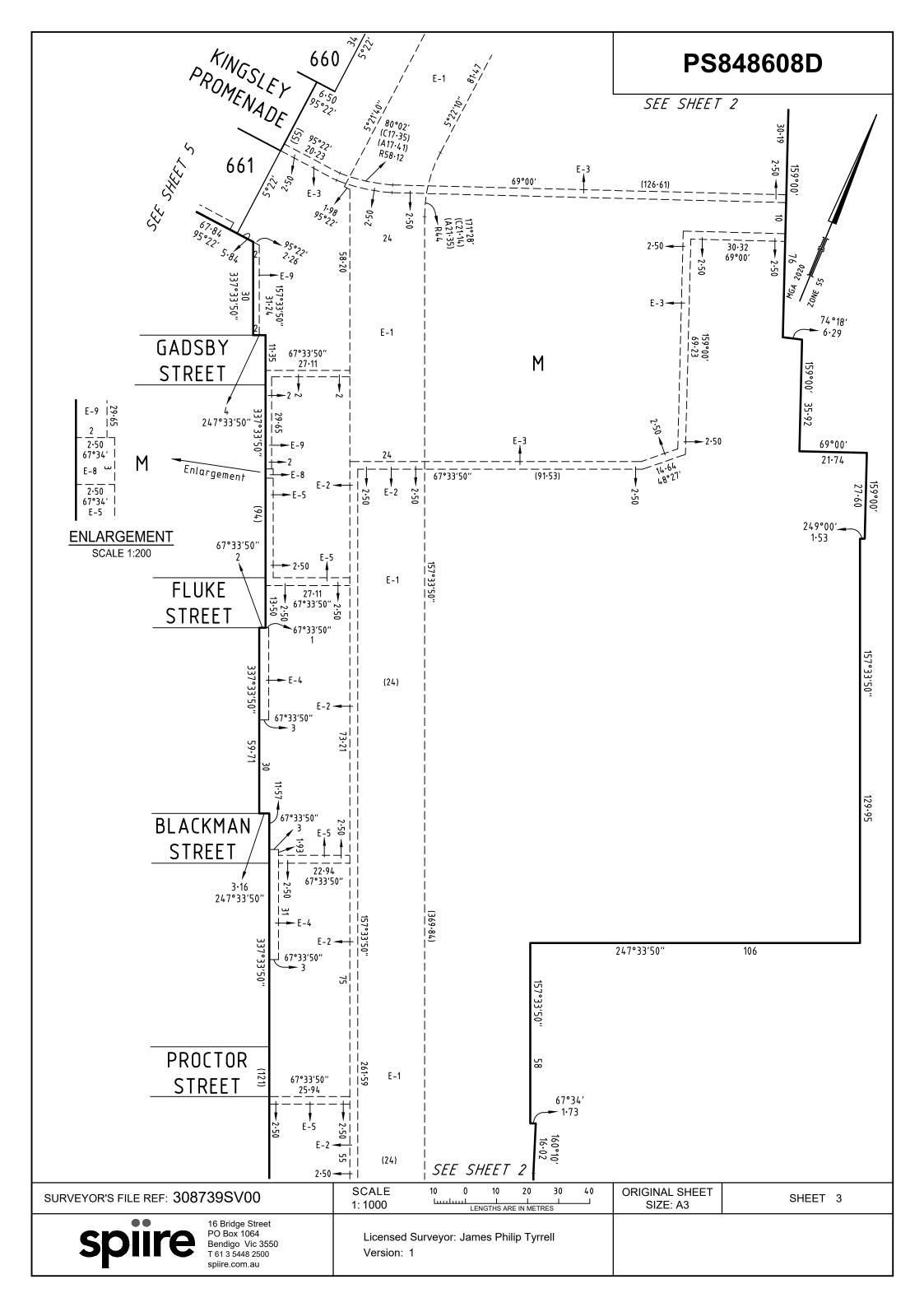
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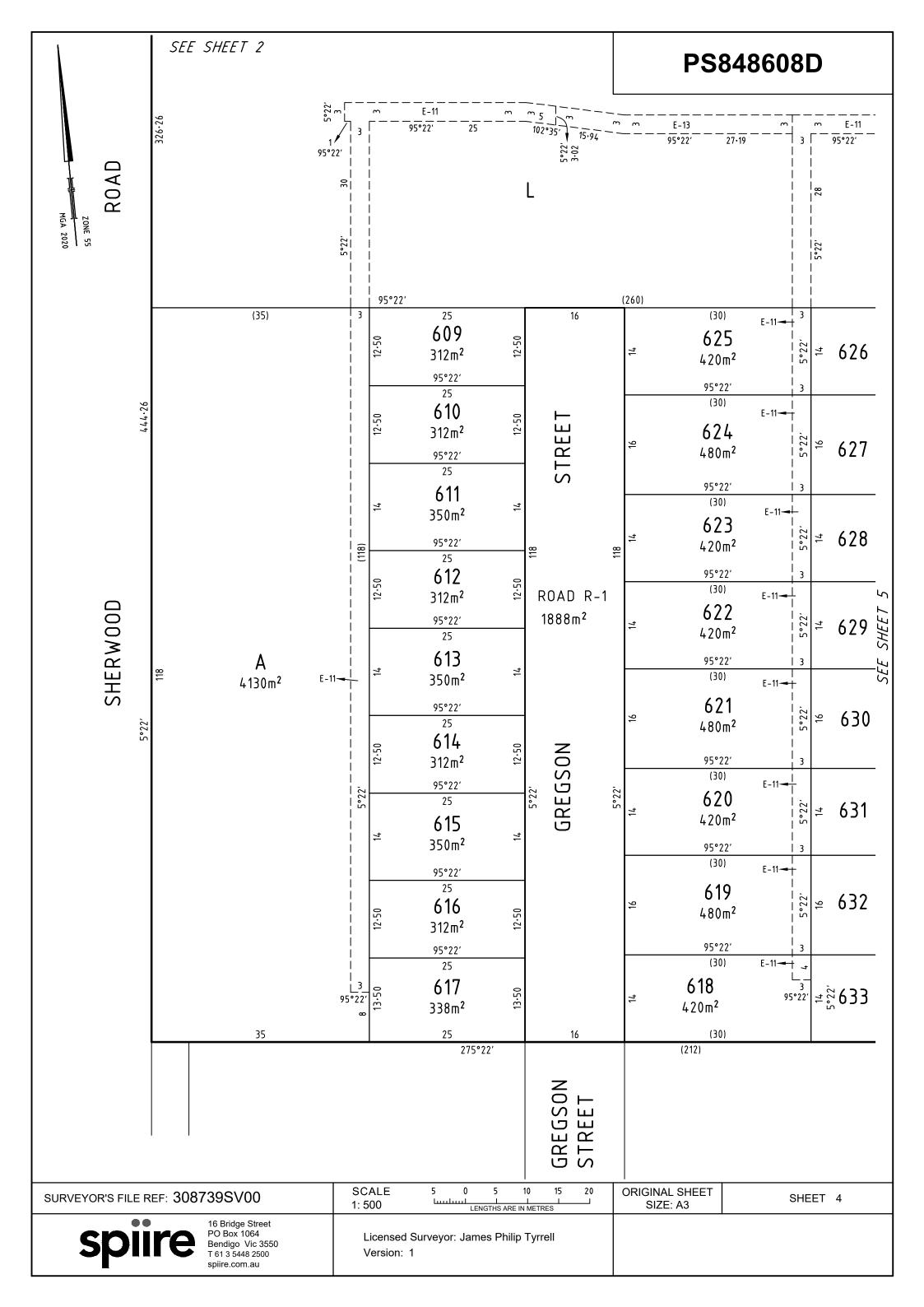
SHEET 1 OF 6

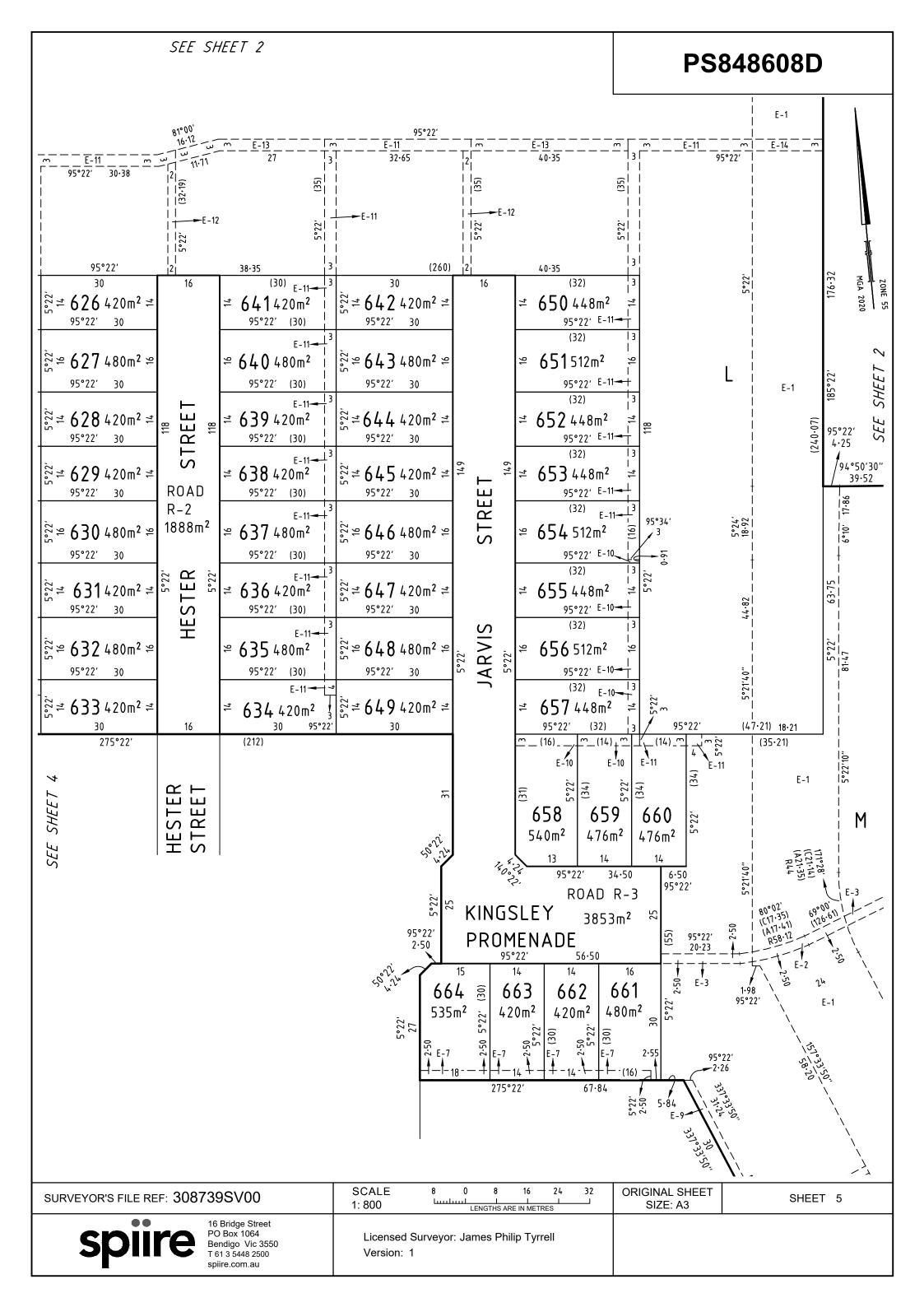
Licensed Surveyor: James Philip Tyrrell

Version: 1









PS848608D

CREATION OF RESTRICTION No. 1

The following restriction is to be created upon registration of this plan:

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Burdened Land: Lots 609 to 664 (both inclusive) on this plan
Benefited Land: Lots 609 to 664 (both inclusive) on this plan

Restriction:

The burdened land must not be used or developed other than in accordance with the provisions recorded in the Memorandum of Common Provisions with dealing number _____

Expiry Date:

The Restriction shall expire 10 years after the date of registration of this plan.